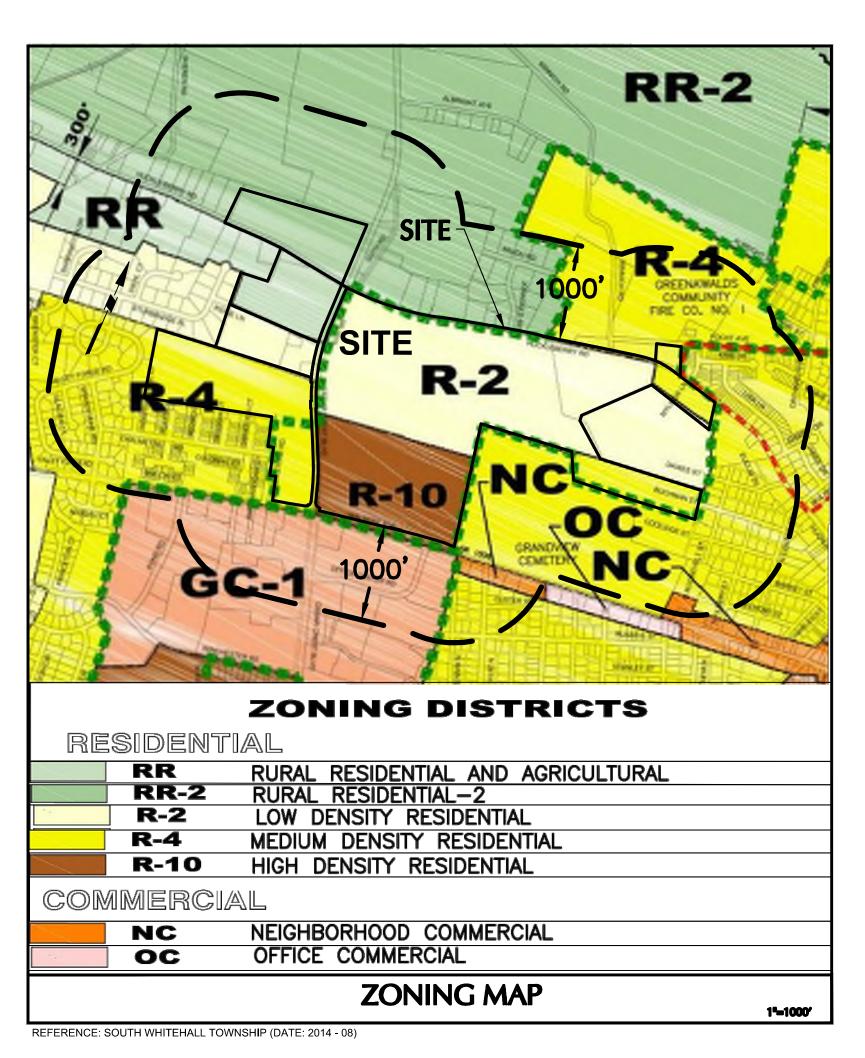
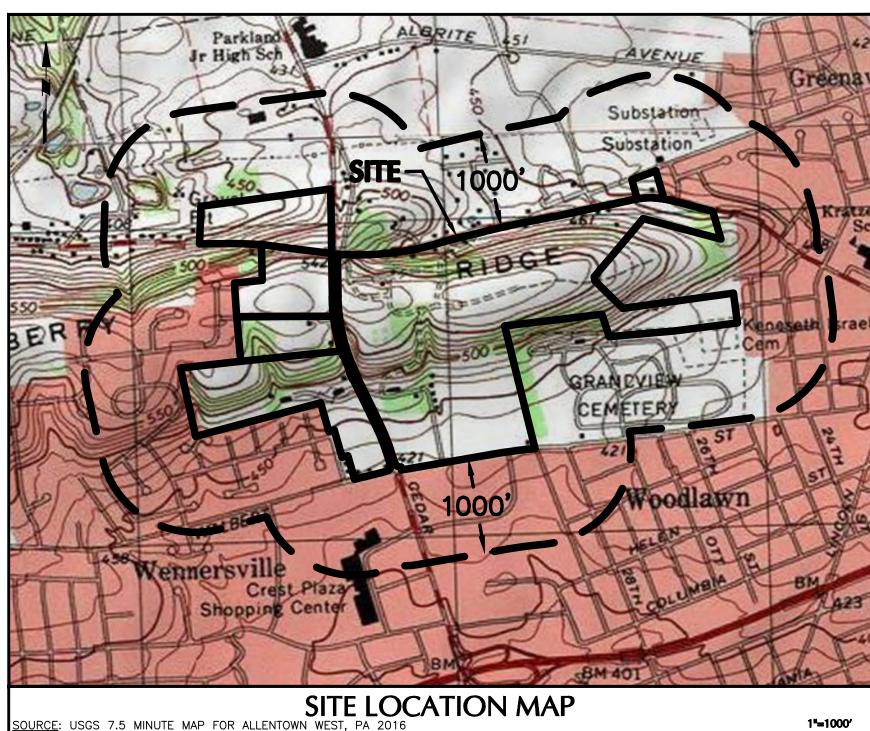
RIDGE FARMS

SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA PRELIMINARY LAND DEVELOPMENT PLANS





1. The Contractor shall furnish, install, test and complete all work to the satisfaction of the Engineer and Owner in accordance with the Contract Documents. The Contractor is solely responsible for means and methods of construction; as such, these plans do not completely represent, nor are they intended to represent, all specific instructions required for sitework construction. The Contractor is responsible to construct all improvements depicted on these plans in accordance with all

2. The Contractor shall accept the site as is. The Contractor shall assess conditions, and the kind, quality and quantity of work required. The Owner and Engineer make no guarantee in regard to the accuracy of any information that was obtained during investigations. The Contractor shall: make a thorough site inspection in order to field check existing site conditions; correlate conditions with the drawings; and, resolve any possible construction conflicts with the Owner and Engineer prior to commencement of work. The Contractor shall perform additional topographic surveys he/she deems necessary, provided they are coordinated with the Owner. Any conditions determined by the Contractor that differ from the information shown on the drawings that are not brought to the attention of the Owner and Engineer prior to the start of work shall not be considered grounds for additional payment or changes to the contract duration, or any other claims against the

3. The Contractor shall, when he/she deems necessary, provide a written Request for Information (RFI) to the Owner and/or Owner's designated representative, and Engineer prior to the construction of any specific sitework item. The (RFI) shall be in a form acceptable to Owner and/or Owner's designated representative, and Engineer and shall allow for a minimum of three work days for a written reply. RFIs shall be numbered consecutively by date submitted. The Contractor shall be solely responsible for sitework items constructed differently than intended or as depicted on the plans.

4. Information related to elevations and proposed utilities (such as roadway grades, invert elevations, rim elevations, grate elevations, building finished floor elevations, etc.) may be found in more than one location in the Contract Documents. The Contractor shall sufficiently review all plans, profiles and any other information in the Contract Documents for consistency prior to bid. Any inconsistencies or discrepancies that are found by the Contractor or his assigns shall be immediately brought to the attention of the Owner and Engineer in writing, in the format of an RFI prior to bid.

5. There are additional notes, specifications and requirements contained throughout the plan set as well as references to specifications from applicable governing authorities and industry standards. It is the Contractor's responsibility to obtain, review and adhere to all these documents.

6. Contractor is specifically cautioned that all construction stakeout for this project must be completed from the site specific survey control (horizontal and vertical) upon which the design is based. The contractor should not rely on or re-establish survey control by GPS or other methods for use in construction stakeout or any other purpose for this project. Any discrepancies between the existing horizontal or vertical data shown on these drawings and that encountered in the field must be



SITE PLAN

REFERENCE: IMAGERY PROVIDED BY NEARMAPS DATED MARCH 2017.

OWNER/APPLICANT KAY WALBERT LLC. **ATTN: RICK KOZE** 5930 HAMILTON BLVD., SUITE 10 **ALLENTOWN, PA 18106** 610-395-6857

SURVEYOR BARRY ISETT & ASSOCIATES INC. 85 PA-100 **ALLENTOWN, PA 18106** CONTACT TIMOTHY SHERIDAN 610-398-0904

APPLICANTS CERTIFICATION: I HEREBY CERTIFY THAT:

A. THE APPLICANT IS THE OWNER, EQUITABLE OWNER OR HAS AN OPTION OF CONDITIONAL CONTRACT OF SALE ON THE LAND PROPOSED TO BE SUBDIVIDED OR DEVELOPED, THAT NO LITIGATION OR LIENS EXIST ON OR ARE PENDING AGAINST THE SITE, THAT THE PLAN HAS BEEN PROCESSED WITH THE APPLICANT'S FREE CONSENT.

B. THE APPLICANT CERTIFIES THAT HE WILL PROPERLY GRADE ALL LOTS TO PROVIDE ADEQUATE SURFACE DRAINAGE SO THAT NO LOW SPOTS OF WATER POCKETS CREATE A NUISANCE AND THAT BE WILL PLACE PERMANENT CONCRETE REFERENCE MONUMENTS TO GRADE AS NOTED ON THE PLAN UPON COMPLETION OF GRADING.

C. THE APPLICANT ALSO ACKNOWLEDGES THAT FOLLOWING APPROVAL OF THIS PLAN, PLAN CHANGES MAY BE REQUIRED TO ADDRESS THE COMMENTS AND REGULATIONS OF OUTSIDE AGENCIES RESPONSIBLE TO REVIEW ANY ASPECT OF THE PROJECT REFLECTED ON THIS PLAN, INCLUDING BUT NOT LIMITED TO POST CONSTRUCTION STORMWATER MANAGEMENT AND NPDES PERMIT REGULATIONS. IN THE EVENT OF CHANGES TO THE PLAN FOLLOWING APPROVAL (WHETHER OR NOT THE PLAN HAS BEEN RECORDED), THE APPLICANT SHALL SUBMIT THE REVISED PLAN TO THE TOWNSHIP FOR REVIEW BEFORE THE APPLICANT MAY MOVE FORWARD WITH CONSTRUCTION ACTIVITIES PURSUANT TO THE REVISED PLAN (WHETHER OR NOT THE PLAN HAS BEEN RECORDED).

CIVIL ENGINEER LANGAN

One West Broad Street, Suite 200

Bethlehem, PA. 18018 P: 610.984.8500 F: 610.984.8501 www.langan.com

CONTACT JASON ENGELHARDT 610-984-8500 jengelhardt@langan.com

CONTACTS

TOWNSHIP BUILDING: SOUTH WHITEHALL TOWNSHIP 4444 WALBERT AVENUE **ALLENTOWN, PA 18104** 610-389-0401

WATER AND SANITARY SEWER: SOUTH WHITEHALL TOWNSHIP PUBLIC WORKS DEPARTMENT 4444 WALBERT AVENUE, **ALLENTOWN, PA 18104 CONTACT: GREGG ADAMS** 610-389-0407

ELECTRIC: PPL ELECTRIC UTILITIES **827 HAUSMAN ROAD** ALLENTOWN, PA 18104 **CONTACT: JANET DRAGONE** 610-774-5151

UGI UTILITIES 2525 N. 12th STREET, SUITE 360 READING, PA 19605 **CONTACT: CARMELO ALICEA**

TELEPHONE: VERIZON PENNSYLVANIA, INC. 3151 PIONEER AVE, PITTSBURGH, PA 15226 **CONTACT: JAMES SZEWZYK**

2124 AVENUE C BETHLEHEM, PA 18017 1-800-746-4726

*7*1*7*-234-5951

17 OF 15 U-101 to CU-11

DRAWING LIST

ACT 287 AS AMENDED IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 (AS AMENDED) AND TO CONTRACT TH "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION. PENNSYLVANIA ONE CALL 1-800-242-1776



SURVEYOR CERTIFICATION: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC

TIMOTHY J. SHERIDAN PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

ENGINEER'S CERTIFICATION:

SCALE 1'' = 300'

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

JASON ENGELHARDT PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION: BY LEHIGH VALLEY PLANNING COMMISSION.

> RECORDING INFORMATION RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL NO. _____, PAGE NO._____ ON _____, 20____.

OWNERS CERTIFICATE: ON THIS, THE _____ DAY OF _____, 20__, BEFORE ME, THE UNDERSIGNED OFFICER,

KAY WALBERT LLC; MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

_ MY COMMISSION EXPIRES: _____ (NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:

I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE KAY WALBERT LLC; MANAGING MEMBER APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:

APPROVED ______ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:

(MONTH DAY YEAR)

(TOWNSHIP ENGINEER)

COVER SHEET (RECORD PLAN)

240043301 **AS SHOWN** awn By | Checked By

GI-001

Drawing No.

RIDGE FARMS

ubmission Date

APPLICANT

REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS REVISIONS

09-23-21|REVISED PER TOWNSHIP COMMENTS

)7-15-21|REVISED PER TOWNSHIP COMMENTS|

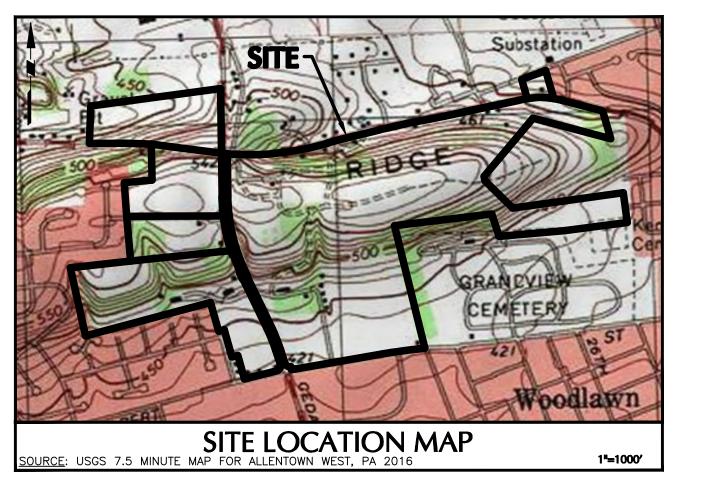
5-19-21 REVISED PER TOWNSHIP COMMENTS

PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

T: 610.984.8500 F: 610.984.8501 www.langan.com

gan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C Langan Engineering and Environmental Services, Inc. Langan CT, Inc. Langan International LLC Collectively known as Langan

SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY





LEGEND

400' FROM SITE MAJOR CONTOUR

MINOR CONTOUR

NOTES

- AERIAL IMAGERY WAS SOURCED FORM NEARMAPS, DATED 02/24/2020.
- REFER TO SHEETS VT-100 THROUGH VT-100 FOR ADDITIONAL SURVEY DETAIL WITHIN THE SITE BOUNDARY.
- A PORTION OF EXISTING CONTOURS SHOWN OUTSIDE THE PROPERTY BOUNDARY WERE GENERATED USING LIDAR INFORMATION, JUNE 2019.
- 4. PLAN IS FOR REFERENCE ONLY, NOT FOR CONSTRUCTION OR RECORDING.

07-15-21 REVISED PER TOWNSHIP COMMENTS 05-19-21 REVISED PER TOWNSHIP COMMENTS 01-21-21 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS REVISIONS

PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

T: 610.984.8500 F: 610.984.8501 www.langan.com Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc.

Langan CT, Inc.

Langan International LLC

Collectively known as Langan

RIDGE FARMS

LEHIGH COUNTY

SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

240043301 **AERIAL MAP**

Drawing No. GI-002 $1^{\text{u}} = 200^{\prime}$ Drawn By Checked By **DJM**

Submission Date Date: 9/23/2021 Time: 11:46 User: dmoyer Style Table: Langan.stb Layout: GI-002 Document Code: 240043301-0504-VA001-0101

APARTMEN	IT BUILDING - #1 AREA EAS	ST	
DENSITY INC	REASE CREDIT CALCULAT	ION	
The purpose of this table is to show that with the 6 total density credits achieved			om 10 dwellina
units per acres to 11 dwelling units per acre (1 credit required). And that the max	·	•	-
(2 credits required). And that the maximum R-10 Apartment units per building ca	·		
ITEM	AREA (SQ. FT.)	AREA (ACRES)	CREDITS
Apartment Area (#1 Area East)	1,254,870 SF.	28.808 AC.	
Apartments Proposed	308 U	INITS	
		<u>. </u>	
Permitted Density BEFORE credit is applied (10 units per acre)	288 l	INITS	
Permitted Density AFTER credit is applied (11 units per acre)	317 ل	INITS	
	OPEN SPACE:	·	
Required Open Space:	250,974 SF.	5.762 AC.	20.0%
Provided Open Space: ¹	502,557 SF.	11.537 AC.	40.0%
Percentage above Required:			20.0%
0.5 Density Credit for every 5% above Required:			2.0 CREDITS
	CARPORTS:		
Apartment Units Proposed:	308 (INITS	
Provided Carport Spaces:		RT SPACES	100.0%
0.5 Density Credit for each 25% Carport Spaces Per Unit:			2.0 CREDITS
Δ.5	SSIGNED GARAGES:		
Apartment Units Proposed:		INITS	
Provided assigned garage spaces:		GE SPACES	52.6%
0.5 Density Credit for each 15% of units with assigned garage space:	102 GARAC	DE SPACES	1.5 CREDITS
0.0 Density Orealt for each 10% of units with assigned garage space.			1.5 CREDITS
	CLUB HOUSE:		
Number of Clubhouses Prpoposed:	1 CLUB	HOUSE	
0.5 Density Credit for 5,000 SF. Clubhouse:			0.5 CREDIT
TOAL DENSITY CREDITS:			6.0 CREDITS

1. The provided open space area listed does not include Open Space Basin #1, Open Space Basin #2 or Open Space Basin #3 areas.

DEDIT CALCULATION	
REDIT CALCULATION	
ed) that the maximum R-10 Apartment building h	eight can increase
Iding can increase from 16 units to 18 units (1 de	ensity credit required).
GARAGES:	
60 UNITS	
60 GARAGE SPACES	100.0%
	3.0 CREDITS
- il	ed) that the maximum R-10 Apartment building he Iding can increase from 16 units to 18 units (1 de GARAGES: 60 UNITS

NON - TND TABLES

RR-2 RURAL RESIDENTIAL-2 LOT AVERAGING DEVELOPMENT OPTION					
ITEM	REQUIRED / PERMITTED	PROPOSED			
RESIDENTIAL USES:	Single Detached Dwelling Unit	Single Detached Dwelling Unit			
Minimum Eligible Lot Area:	5 AC.	15.933 AC.			
Density: Total Area / 80,000 SF.	694,024 SF. / 80,000 SF. = 8.7	8 Units			
Minimum Lot Area:	43,560 SF.	≥ 43,560 SF.			
Minimum Frontage:	75 FT	160 FT			
Minimum Front Yard:	35 FT	35 FT			
Minimum Side Yard:	15 FT	15 FT			
Minimum Rear Yard:	50 FT	50 FT			
Maximum Building Height:	35 FT	35 FT			
Parking Requirement:	2 Spaces / D.U.	16 SPACES			

ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	13.666 AC.
Minimum Lot Area Per Use:	1 AC.	≥ 1 AC.
Minimum Frontage:	160 FT	160 FT
Minimum Front Yard:	50 FT	50 FT
Minimum Side Yard:	15 FT	15 FT
Minimum Rear Yard:	50 FT	50 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement: ¹	2 Spaces / D.U.	18 SPACES

1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

ITEM	REQUIRED / PERMITTED	PROPOSED
RESIDENTIAL USES:	Single Detached Dwelling	Single Detached Dwelling
Tract Area:	N/A	9.767 AC.
Minimum Lot Area Per Use:	20,000 SF.	≥ 20,000 SF.
Minimum Frontage:	125 FT	125 FT
Minimum Front Yard:	35 FT	35 FT
Minimum Side Yard:	25 FT	25 FT
Minimum Rear Yard:	40 FT	40 FT
Maximum Building Height:	40 FT	40 FT
Parking Requirement: ¹	2 Spaces / D.U.	18 SPACES

ITEM	REQUIRED / PERMITTED	PROPOSED
ESIDENTIAL USES:	Twin	Twin
Tract Area:	N/A	23.19 AC.
Minimum Lot Area Per Use:	8,400 SF.	≥ 8,400 SF.
Minimum Frontage: ¹	70 FT / 42 FT along cul-de-sac lot	70 FT / 47 FT along cul-de-sac
Minimum Front Yard:	25 FT	25 FT
Minimum Side Yard:	10 FT	10 FT
Minimum Rear Yard:	30 FT	30 FT
Maximum Building Height:	35 FT	35 FT
Parking Requirement: ²	2 Spaces / D.U.	128 SPACES

1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

1. Each Single family unit will have a 2 car garage, 2 garage spaces per unit will be provided.

provided the length of the ROW line equals at least 60% of the required frontage. 2. Each Twin unit will have a 2 car garage, 2 garage spaces per unit will be provided.

NON - TND OPEN SPACE SUMMARY

NON-TND REQUIRED OPEN SPACE CALCULATION					
AREA DESIGNATION	NUMBER OF PROPOSED DWELLING UNITS	MIN. REQUIRED OPEN SPACE PER DWELLING UNIT ⁽²⁾	REQUIRED OPEN SPACE SQUARE FEET	REQUIRED OPEN SPACE AREA ACRES	PROVIDED OPEN SPACE ACRES
NON-TND AREA WEST OF CEDAR CREST BLVD.	90	2,600 SF.	234,000 SF.	5.372 AC.	8.183 AC
INCLUDING SINGLE FAMILY AND TWINS UNITS					
IN ZONING DISTRICTS RR, RR-2, R-2 & R-4					

1. SEE NON-TND OPEN SPACE TABLE FOR OPEN SPACE AREA BREAKDOWN AND OPEN SPACE OWNER INFORMATION. 2. REQUIREMENT IS BASED ON THE PRECENTAGE OF THE TOTAL AMOUNT OF OPEN SPACE WHICH IS PRIME OPEN SPACE, NOT GREATER THAN 25%.

	NON-T	ND OPEN SPACE			
AREA DESIGNATION	AREA	BASIN AREA	AREA SQUARE FEET	AREA ACRES	OWNER
RR-2 LOT A	267,422 SF.	43,142 SF.	224,280 SF.	5.149 AC.	Homeowner's Association
R-2/R-4 LOT B	140,940 SF.	17,161 SF.	123,779 SF.	2.842 AC.	Homeowner's Association
R-4 LOT C	8,387 SF.	N/A	8,387 SF.	0.193 AC.	Homeowner's Association
OPEN SPACE TOTAL			356,446 SF.	8.183 AC.	

TND ZONING REQUIREMENTS

TND - RESIDENTIAL CLUSTER DEVELOPMENT AREA AND BULK REGULATIONS AND DESIGN STANDARDS TABLE				
ITEM	REQUIRED / PERMITTED	PROPOSED		
RESIDENTIAL USES:				
R-10 High Density Residential				
Dwelling Type:	Single Detached / Twin	Single Detached / Twin		
Minimum Lot Area per Use:	6,000 SF. / 4,800 SF.	≥ 6,000 SF. / ≥ 4,800 SF.		
Minimum Frontage:	50 FT / 40 FT	≥ 50 FT / ≥ 40 FT		
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT		
Minimum Sides to Lot Lines:	8 FT / 10 FT	≥ 8 FT / ≥ 10 FT		
Minimum Rear to Lot Lines:	25 FT	≥ 25 FT		
Maximum Units per Building:	1 Unit / 2 Units	1 Unit / 2 Units		
Minimum Height (TND requirement):	20 FT	≥ 20 FT		
Maximum Height of Building Structure:	35 FT	≤ 35 FT		
Dwelling Type:	Apartment / Condo Buildings	Apartment / Condo Buildings		
Maximum Dwelling units per Gross Acre:	10 UNITS	See Apartment Increase Credit Tables		
Build to Line (TND requirement):	10 FT - 15 FT	10 FT - 15 FT		
Minimum Sides to Lot Lines:	20 FT	≥ 20 FT		
Minimum Rear to Lot Lines:	30 FT	≥ 30 FT		
Maximum Units per Building:	16 UNITS	See Apartment Increase Credit Tables		
Maximum Height of Building Structure:	35 FT	See Apartment Increase Credit Tables		
NON-RESIDENTIAL USES:				
N-C Neighborhood Commercial / TND Residential Cluster				
Use Type:	Mixed Use Building / Retail / Restaurant / Medical Office	Mixed Use Building / Retail / Restaurant / Medica Office		
Maximum Individual Use: ²	5,000 SF.	≤ 5,000 SF.		
Build to Line (TND requirement):	5 FT - 15 FT	5 FT - 15 FT		
Minimum Height (TND requirement):	2 Stories or 20 FT	2 Stories or ≥ 20 FT		
Maximum Height of Building Structure (TND requirement):	4 Stories or 60 FT (along aerial roads)	4 Stories or ≤ 60 FT (along aerial roads)		
Minimum Building Separation on same lot:	20 FT	≥ 20 FT		
Max. Non-Res. Building Footprint:		1		
3 stories or 45 FT in height or less:	6,500 SF.	≤ 6,500 SF.		
greater than 3 stories or 45 FT in height:	20,000 SF.	≤ 20,000 SF.		
Maximum Lot Coverage (TND requirement):	75%	73.76%		

1. TND requirements were taken from South Whitehall Township Zoning Code Section 350-31(f)(2). 2. Medical Offices will have separate uses, no greater than 5,000 SF for each office.

proposed information provided.

ITEM	REQUIRED / PERMITTED	PROPOSED
Minimum Tract Size:	50.0 AC.	138.340 AC
Increase in Development Intensity:		
Increase Development Intensity 1 Level or to R-4, whichever is greater:	Increased to R-4, with added Density Bonuses allows for an increase to R-10	R-10, See TND - Residential Cluster Overlay Development Intensity Table
Minimum % of the Tract to be Open Space:		
15% plus 0.5% for every 1% of the gross tract area developed as commercial	19.55%	27.60%
Minimum % of the Tract to be Active Open Space:		
5% plus 0.5% for every 1% of the gross tract area developed as commercial	9.55%	9.62%
Maximum % of the Tract to be Gross Area for Commercial Uses:	10%	9.1%

TND PARKING SUMMARY

	TND RESIDENTIAL P	ARKING CALCULATIONS		
BUILDING TYPE	DWELLING UNITS	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES
Single Detached Dwelling ^{1.}	156	2 Spaces / D.U.	312	312
Twins ¹	156	2 Spaces / D.U.	312	312
On-Street Parking ⁴				234
Apartment Area #1 East	308	2.25 Spaces / D.U. ²	693	712
Apartment Area #2 West	60	2.25 Spaces / D.U. ^{2,3}	135	142
Number of Apartment parking areas	4 Areas	1 Large space for parking areas	4	4
		with 50 or more spaces		

1. Each TND single family and twin unit will have a 2 car garage, 2 garage spaces per unit will be provided. Additional on-street parking spaces are provided throughout the market rate and age restricted development areas. These on-street parking spaces are not needed to meet the required parking calculation.

2. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking. 3. Apartment Area #2 West units include 1 assigned driveway space and 1 garage space for each unit. Overflow parking spaces are provided around the

perimeter of Active Open Space #12. 4. On-Street parking listed does not include parking spaces designated for mail pick up at cluster mailbox locations.

TND CLUBHOUSE PARKING CALCULATIONS						
PROPOSED USE	BUILDING SIZE (SF)	PARKING REQUIREMENT	REQUIRED SPACES	PROPOSED SPACES		
Clubhouse A¹(1 Story)	5,000	1 Space / 300 SF of Office	46	46		
Clubhouse B ¹ (1 Story)	5,000	1 Space / 50 SF of meeting room	46	46		
TEO						

1. Each clubhouse will have a 2,000 SF meeting room area and an office area of 600 SF. The remaining area will be lobby / marketing display space. 2. Clubhouse parking lots are not counted towards open space.

Mixed Use / Village Commercial Area:			REQUIRED SPACES	PROPOSED SPACES
Apartments as part of a Mixed Use Building	100	2.25 Spaces / D.U. ¹	225	225
Retail / Restaurant Mixed Use Building #1 (1st Floor)	6,940 SF.		28	
Retail / Restaurant Mixed Use Building #2 (1st Floor)	6,940 SF.	1	28	
Retail Mixed Use Building #3 (1st Floor)	6,660 SF.	1	27	
Retail Mixed Use Building #4 (1st Floor)	6,660 SF.	1 Space / 225 SF of GFA ²	27	
Restaurant A (1 Story)	5,000 SF.	1	20	
Restaurant B (1 Story)	5,000 SF.	1	20	
Medical Office (3 Stories, 30,000 SF Usable Office Space)	30,000 SF.	1	134	
Sub Total:	67,200 SF.		299	299
		T		
Total Mixed Use / Village Commercial:			524	524

1. The required apartment parking is 2 spaces for each dwelling unit and an additional 0.25 spaces per unit for overflow parking. 2. The required shopping center parking is 1 space for each 225 square feet of gross floor area. 3. There are no basements proposed for the non-residential buildings.

TND HOUSING SUMMARY

LAND USE	NUMBER OF UNITS / SQ. FT.
TND Market Rate Single Family Homes	68
TND Market Rate Twin Homes	40
TND Age Restricted Single Family Homes	88
TND Age Restricted Twin Homes	82
TND East Apartments	308
TND West Apartments / Condominiums	60
TND Restaurant Village Commercial Area	17,200
TND Medical Office Village Commercial Area	30,000
TND Retail Village Commercial Area	20,000
TND Market Rate Twin Homes (Buchman Street Access)	34
TND Apartments within Commercial Village	100
AREA OVERVI	EW
TND - RESIDENTIAL CLUSTER (OVERLAY DISTRICT

TND Residential Cluster Site Area

Village Non-Residential Lot Coverage

Commercial Mixed Use Area

Total TND Units

Active Open Space

Open Space

TOWNSHIP REVIEW NOTE:
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL
REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATI
REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS
CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST
GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT M
AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE
TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNIN
THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/
LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETR
THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICA
ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AF
(ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OT
EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND I
NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP

TOTAL IMPERVIOUS:

AREA DESIGNATION COMMERCIAL MIXED USE AREA

MAXIMUM IMPERVIOUS PERMITTED

OWNER/APPLICANT

KAY WALBERT LLC.

ATTN: RICK KOZE

610-395-6857

MIXED USE VILLAGE COMMERCIAL AREA

IMPERVIOUS CALCULATIONS

400,194 SF.

ALLENTOWN, PA 18106

AREA IN SQ. FT. AREA IN ACRES PERCENTAGES

9.187

5930 HAMILTON BLVD., SUITE 10

75.0%

73.76%

09-23-21	REVISED PER TOWNSHIP COMMENTS	4.	ALLON WEAL	
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.	REGISTERED PROFESSIONAL	LANGAN
	REVISED PER TOWNSHIP COMMENTS	2.	JASON SCOTT ENGELHARDT	One West Broad Street, Suite 200, Bethlehem, PA 18018 T: 610.984.8500 F: 610.984.8501 www.langan.com
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.	PE057145E	Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A. Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
Date	Description	No.	SIGNATURE JASON ENGELHARDT DATE SIGNED	Langan Engineering and Environmental Services, Inc. Langan CT, Inc.
	REVISIONS		PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E	Langan International LLC Collectively known as Langan

12.455 AC.

38.1 AC

13.237 AC

TND OPEN SPACE SUMMARY

REQUIRED OPEN SPACE CALCULATIONS TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)					
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	REQUIRED / PERMITTED PERCENTAGES		
TND RESIDENTIAL CLUSTER SITE AREA	6,026,090	138.340			
ACTIVE OPEN SPACE REQUIRED ⁽²⁾	575,492	13.211	9.55%		
OPEN SPACE REQUIRED ⁽¹⁾	1,178,101	27.045	19.55%		
MAXIMUM OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25%	706,860	16.227	60%		

PROVIDED OPEN SPACE CALCULATIONS TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT (RESIDENTIAL WITH COMMERCIAL COMPONENT)					
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	PROVIDED PERCENTAGES		
COMMERCIAL MIXED USE AREA ^(1,2)	542,548	12.455	9.1%		
OPEN SPACE	1,083,436	24.872	17.98%		
ACTIVE OPEN SPACE	579,816	13.311	9.62%		
TOTAL OPEN SPACE	1,663,252	38.183	27.60%		
OPEN SPACE WITHIN FLOODWAY / WETLANDS / STEEP SLOPES IN EXCESS OF 25% ³	224,804	5.161	13.52%		

1. Minimum percentage of Tract to be Open Space 15% plus 0.5% for every 1% of gross tract area developed as commercial. 2. Minimum percentage of Tract to be Active Open Space 5% plus 0.5% for every 1% of gross tract area developed as commercial.

3. All open space areas in this calculation are within steep slopes in excess of 25%. There are no known floodways or wetlands on-site.

	OPE	N SPACE		
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER
A	415,832	9.546	Trails	Homeowner's Association
В	95,761	2.198	None	Homeowner's Association
С	147,283	3.381	Trails	Homeowner's Association
D	129,386	2.970	Trails	Homeowner's Association
E	6,167	0.142	None	Homeowner's Association
F	108,697	2.495	None	Homeowner's Association
G	20,627	0.474	None	Homeowner's Association
Н	46,218	1.061	None	Homeowner's Association
I	13,982	0.321	None	Homeowner's Association
J	11,000	0.253	Trails	Homeowner's Association
K	5,400	0.124	Trails	Homeowner's Association
L	5,400	0.124	Trails	Homeowner's Association
M	12,903	0.296	Rain Garden	Homeowner's Association
N	18,699	0.429	Trails	Homeowner's Association
0	46,081	1.058	Trails, Benches	Homeowner's Association
pen Space Total	1,083,436 SF.	24.872 Ac.		

1. Open Space areas do not include areas less than 500 SF.

2. Open Space areas include existing street ultimate right-of-way areas along portions of North Cedar Crest Blvd and Walbert Ave. 3. The 50' wide mobility easement connecting the eastern residential area to the commercial area is not included in the open space calculations.

	ACTIVE	OPEN SPACE		
AREA DESIGNATION	AREA IN SQ. FT.	AREA IN ACRES	AMENITY	OWNER
ACTIVE O.S. #1 (Green or Square with seating area or Plaza)	157,157	3.608	Clubhouse, Pavilion, Pickle Ball, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #2 (Green or Square with seating area or Plaza)	42,156	0.968	Gazebo, Clubhouse, Play Equipment, Pool, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #3 (Green or Square with seating area or Plaza)	42,962	0.986	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #4 (Green or Square with seating area or Plaza)	74,313	1.706	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #5 (Green or Square with seating area or Plaza)	9,131	0.210	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #6 (Green or Square with seating area or Plaza)	74,178	1.703	Fountain, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #7 (Green or Square with seating area or Plaza)	40,930	0.940	Pavilion, Benches, Bike Rack Trails	Homeowner's Association
ACTIVE O.S. #8 (Green or Square with seating area or Plaza)	50,684	1.164	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #9 (Green or Square with seating area or Plaza)	43,567	1.0 AC.	Pavilion, Benches, Bike Rack, Plaza/Trails	Homeowner's Association
ACTIVE O.S. #10 (Green or Square with seating area or Plaza)	12,210	0.280	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
ACTIVE O.S. #11 (Green or Square with seating area or Plaza)	32,528	0.747	Gazebo, Benches, Bike Rack, Trails	Homeowner's Association
Active Open Space Total	579,816 SF.	13.311 Ac.		

1. Active Open Space areas include existing street ultimate right-of-way areas, up to 10 feet to proposed roadway improvements. 2. Active Open Space areas have a maximum grade of 5%.

3. All Active Open Space areas, 100%, will be Village Greens or Squares having seating areas and Plazas with the amenities listed above.

SURVEYOR CERTIFICATION:

I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

ENGINEER'S CERTIFICATION:

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON ____

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

JASON ENGELHARDT PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION: REVIEWED; BY LEHIGH VALLEY PLANNING COMMISSION.

RECORDING INFORMATION VOL NO. _____, PAGE NO._____ ON _____, 20____.

SOUTH WHITEHALL TOWNSHIP

LEHIGH COUNTY

OWNERS CERTIFICATE: ON THIS, THE _____ DAY OF _____, 20___, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:

KAY WALBERT LLC; MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

__ MY COMMISSION EXPIRES: _____ (NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION: I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE KAY WALBERT LLC; MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:

APPROVED ______ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:

____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN

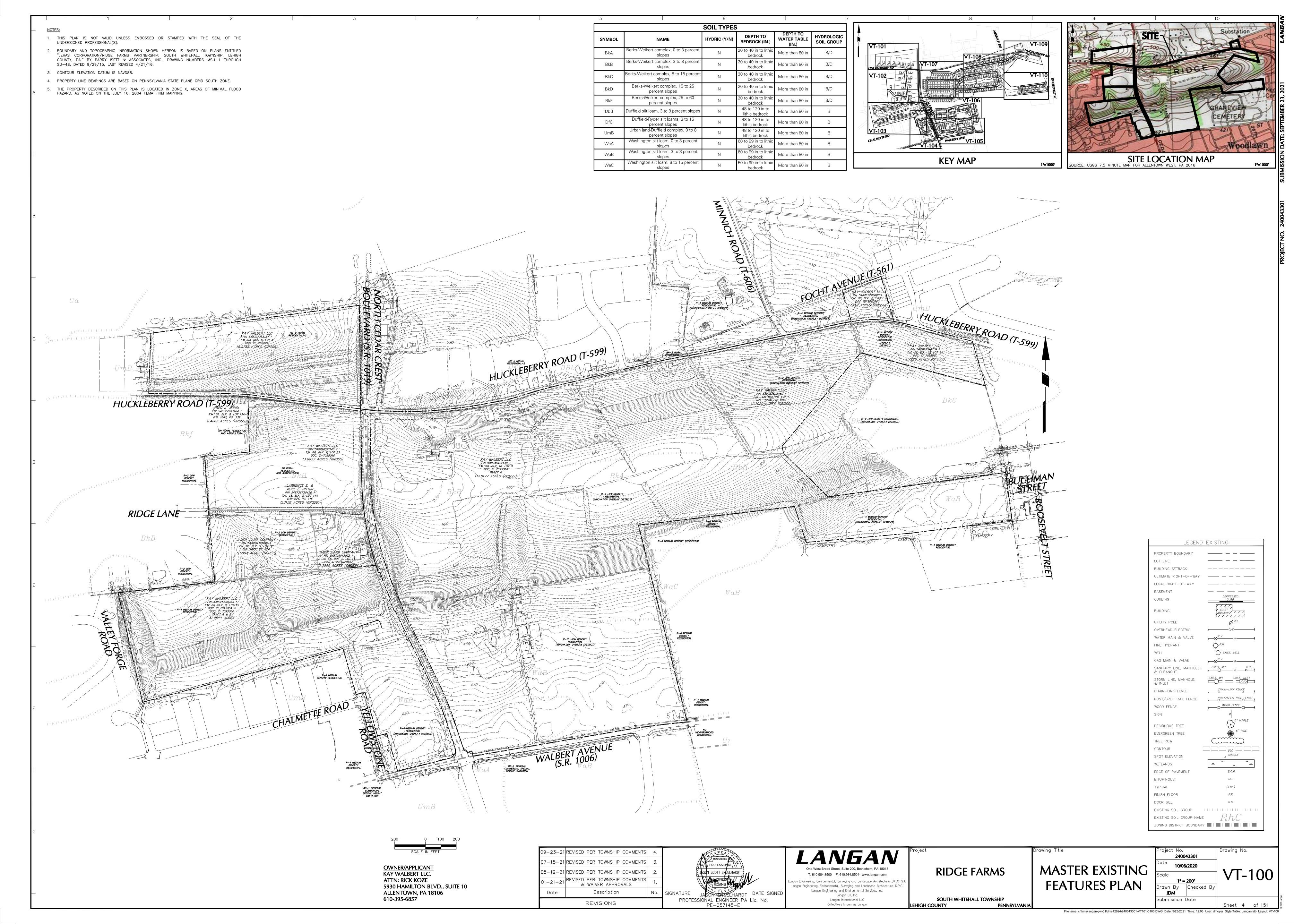
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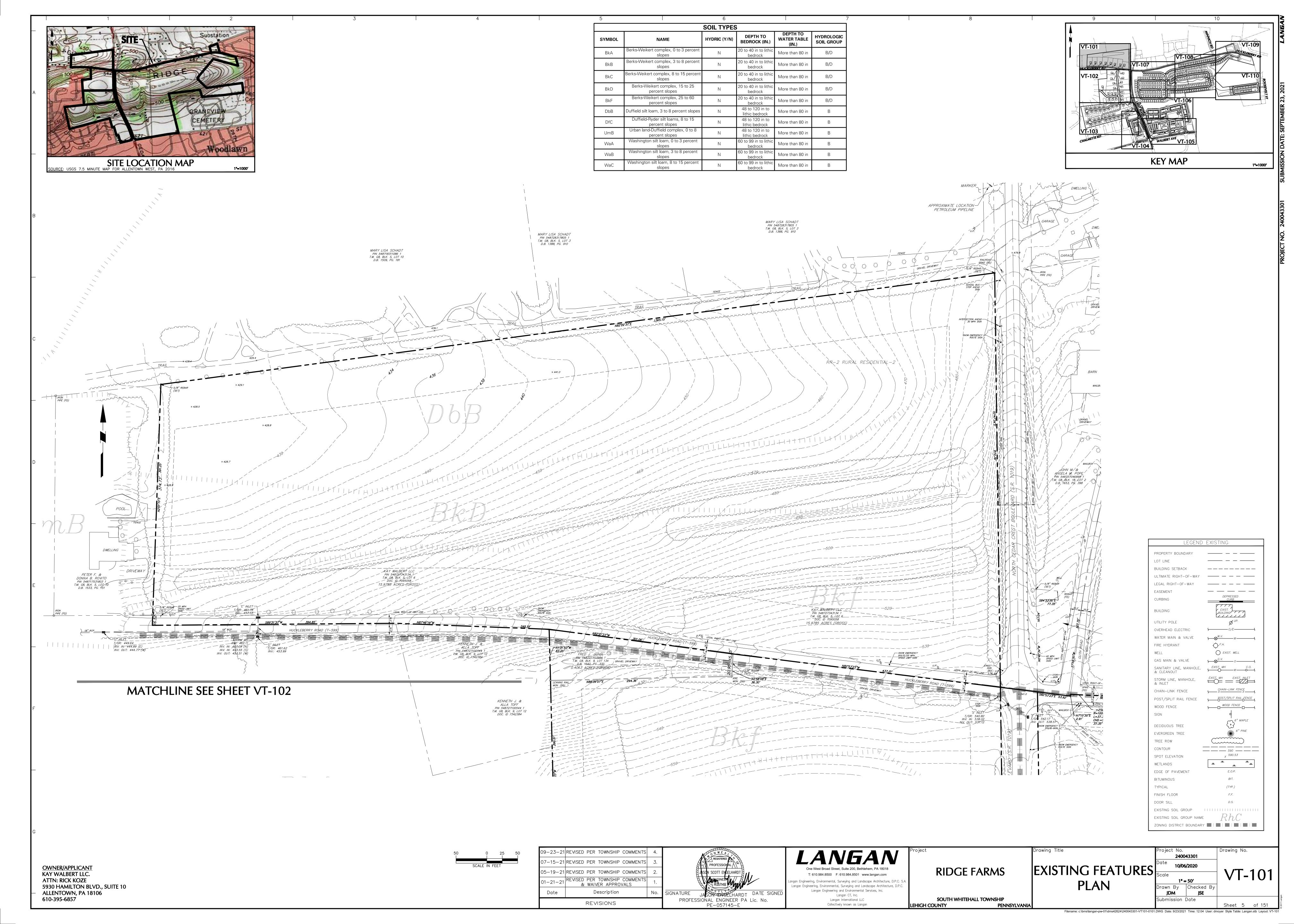
SUMMARY PLAN (RECORD PLAN)

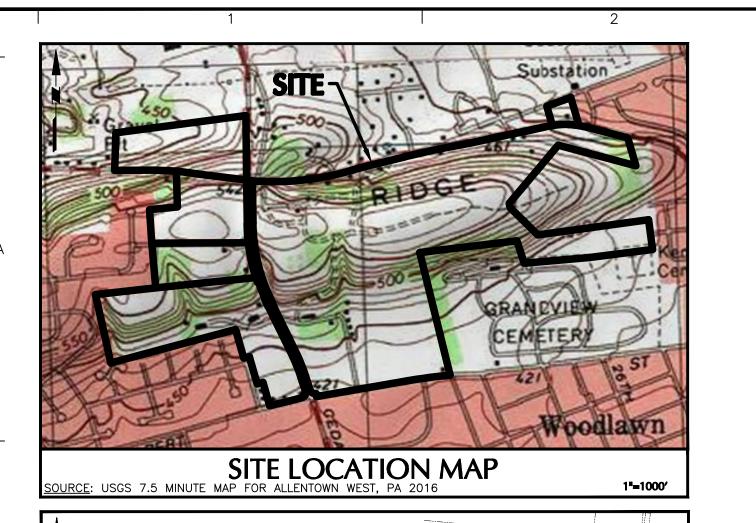
240043301 GI-003 N.T.S. Orawn By | Checked By Submission Date

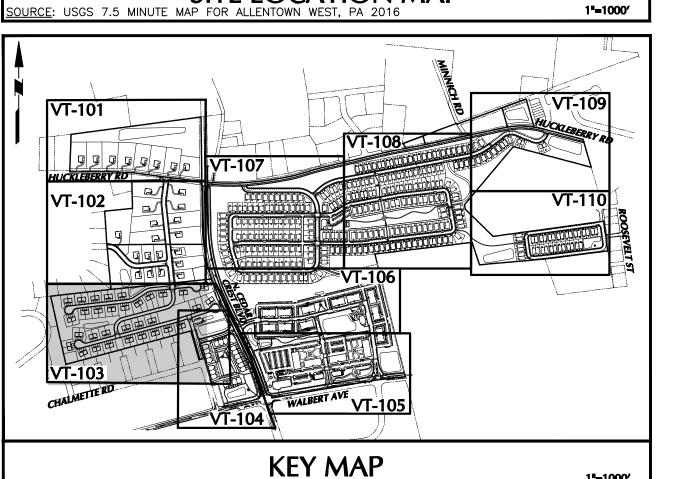
(TOWNSHIP ENGINEER)

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LEGEND	EXISTING
PROPERTY BOUNDARY	
LOT LINE	
BUILDING SETBACK	
ULTIMATE RIGHT-OF-WAY	
LEGAL RIGHT-OF-WAY	
EASEMENT	
CURBING	DEPRESSED CURB
BUILDING	EXIST. BUILDING
UTILITY POLE	Ø ^{UP.}
OVERHEAD ELECTRIC	\\\(\sigma \sigma \) \(\sigma \sigma \sigma \) \(\sigma
WATER MAIN & VALVE	\$ <u>₩. v.</u>
FIRE HYDRANT	→ F.H.
WELL	EXIST. WELL
GAS MAIN & VALVE	\$ <u></u>
SANITARY LINE, MANHOLE, & CLEANOUT	<i>EXIST. MH W C.O. S</i>
STORM LINE, MANHOLE, & INLET	EXIST. MH EXIST. INLET
CHAIN-LINK FENCE	S——X———X——————————————————————————————
POST/SPLIT RAIL FENCE	S
WOOD FENCE	S
SIGN	٥
DECIDUOUS TREE	6" MAPLE
EVERGREEN TREE	6" PINE
TREE ROW	
CONTOUR	
SPOT ELEVATION	590 590.53
WETLANDS	* * * *
EDGE OF PAVEMENT	E.O.P.
BITUMINOUS	BIT.
TYPICAL	(TYP.)
FINISH FLOOR	F.F.
DOOR SILL	D.S.
EXISTING SOIL GROUP	
EXISTING SOIL GROUP NAME	RhC
ZONING DISTRICT BOUNDARY	

JOHN &: JUDITH SILVERBERG PIN 548715695904 1 T.M. G8NW3, BLK. 3, LOT 107 D.B. 1451, PG. 762

ATTN: RICK KOZE

610-395-6857

ALLENTOWN, PA 18106

5930 HAMILTON BLVD., SUITE 10

MATCHLINE SEE SHEET VT-103

ROLF BRUGGMAN & K. TAYLOR-BRUGGMAN & K. TAYLOR BRUGGMAN PIN 548715695904 1
T.M. G8NW3, BLK. 3, LOT 107
DOC. 10 2016004123

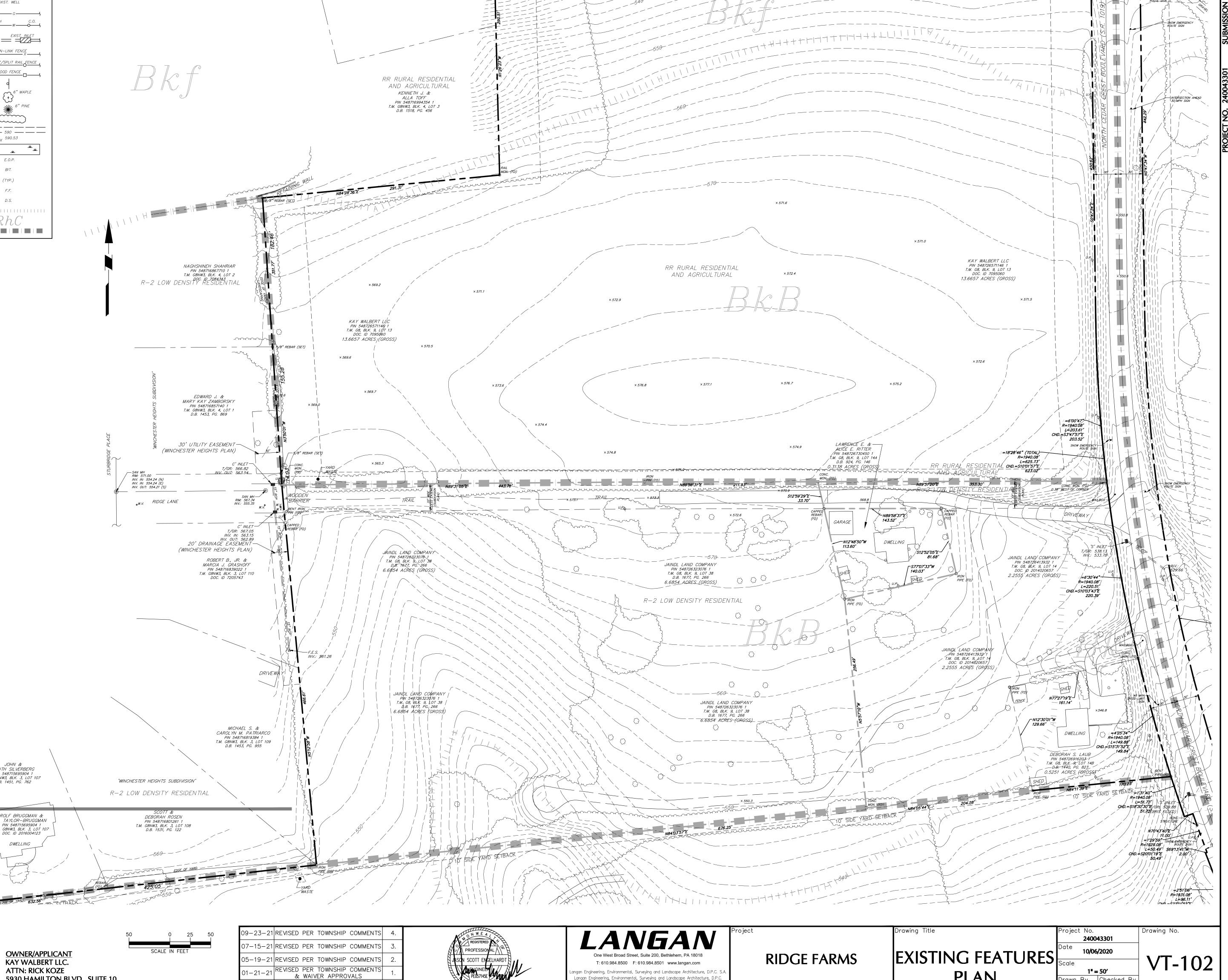
JOHN A., JR. & MONET M. KRISTEL PIN 548715591864 1 T.M. G8NW3, BLK. 3, LOT 106 DOC. ID 2013024452

MATCHLINE SEE SHEET VT-101

KENNETH J. & ALLA TOFF PIN 548727100544 1 T.M. G8, BLK. 9, LOT 12 DOC. ID 7342384

SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В
DfC	Duffield-Ryder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В

1"=1000"



ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A

Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.

Langan Engineering and Environmental Services, Inc.

Langan CT, Inc.

Langan International LLC

Collectively known as Langan

PROFESSIONAL ENGINEER PA Lic. No.

PE-057145-E

REVISIONS

SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

LEHIGH COUNTY

1" = 50'

Drawn By Checked By

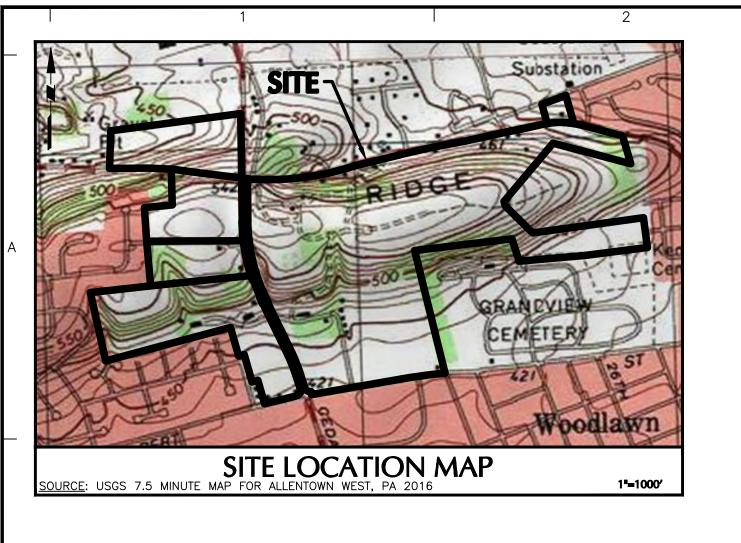
JSE

JDM

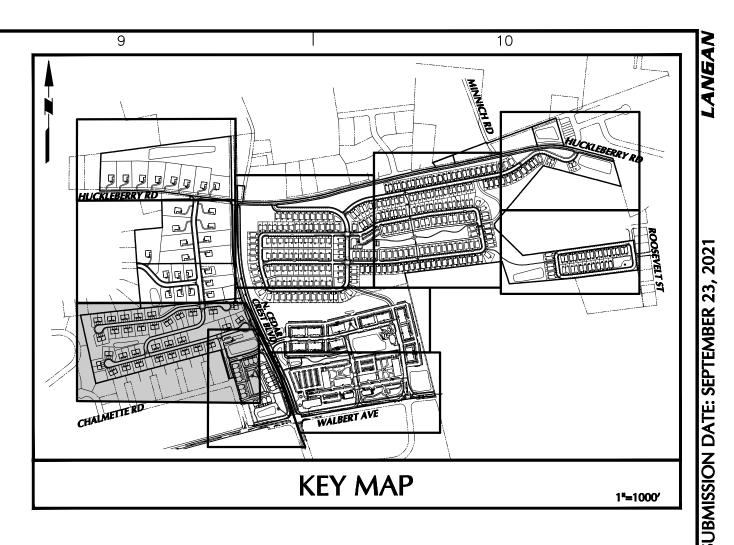
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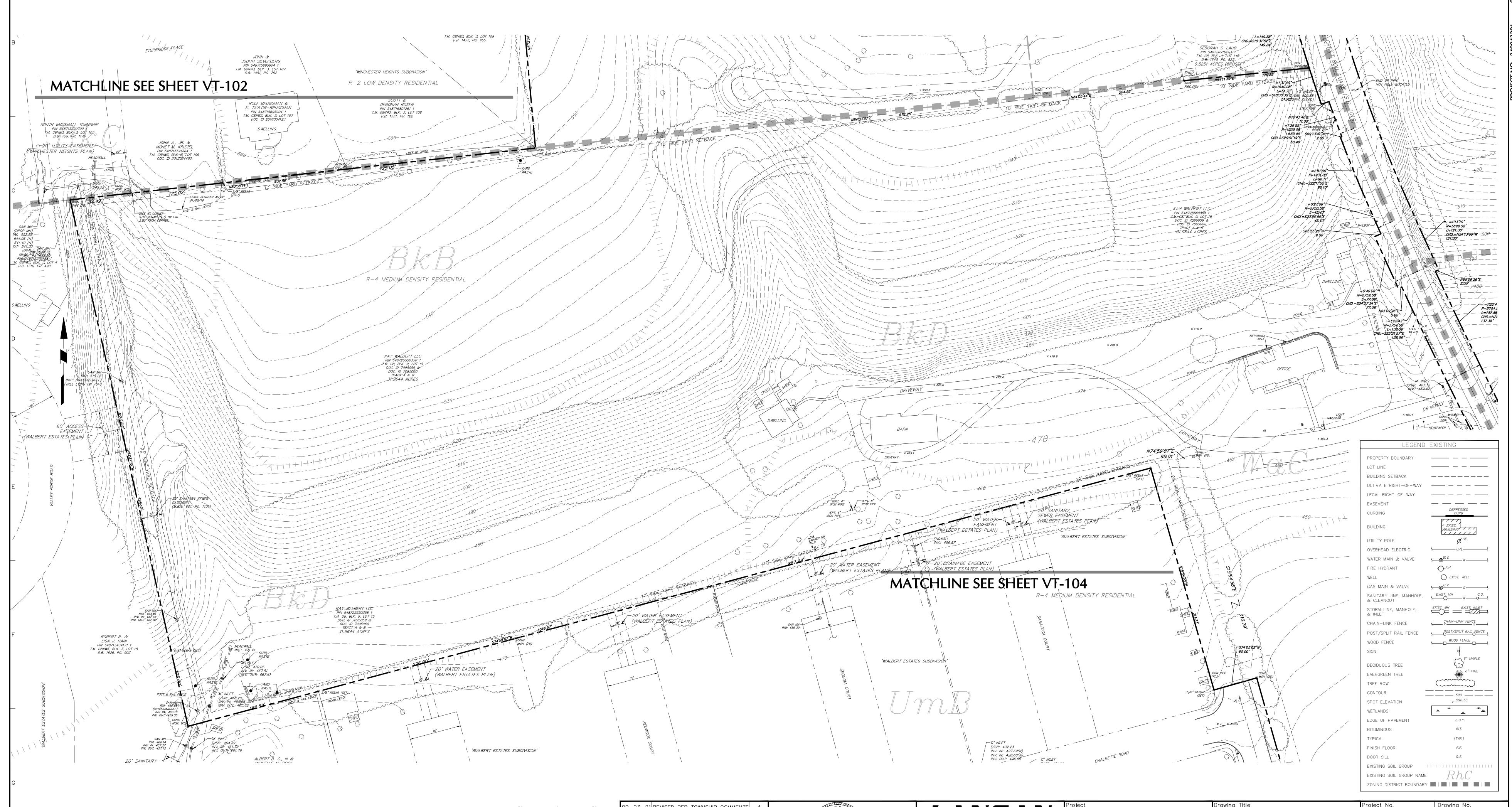
Submission Date

PLAN



DEPTH TO							
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP		
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WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В		





EXISTING FEATURES **PLAN**

Drawing No. 240043301 VT-103 1'' = 50'JSE

OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICK KOZE 5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106 610-395-6857

09-23-21 REVISED PER TOWNSHIP COMMENTS 7-15-21 REVISED PER TOWNSHIP COMMENTS 05-19-21 REVISED PER TOWNSHIP COMMENTS 01-21-21 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS

REVISIONS

PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

RIDGE FARMS T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.

LEHIGH COUNTY

Langan Engineering and Environmental Services, Inc.

Langan CT, Inc.

Langan International LLC

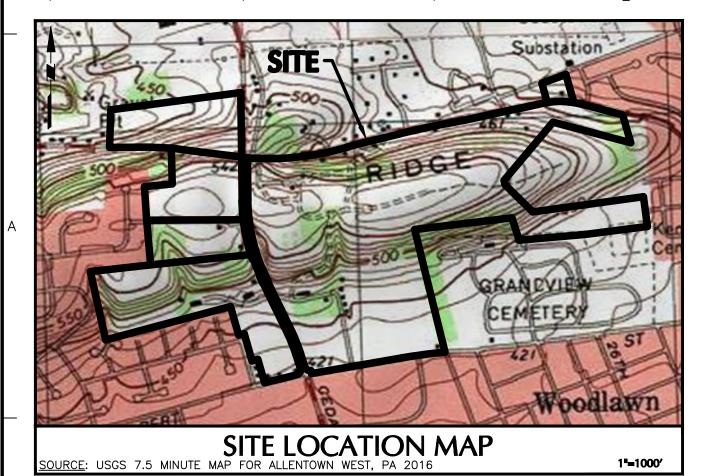
Collectively known as Langan

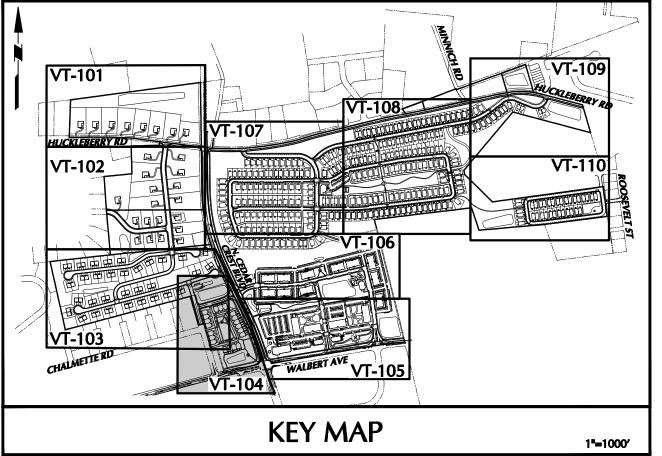
SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

Drawn By Checked By JDM Submission Date

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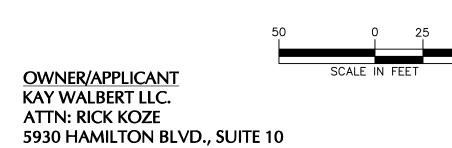




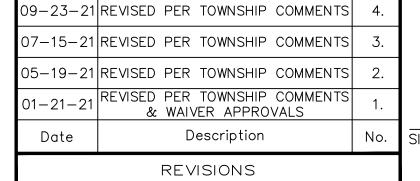
		SOIL TYPES			
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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DfC	Duffield-Ryder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В
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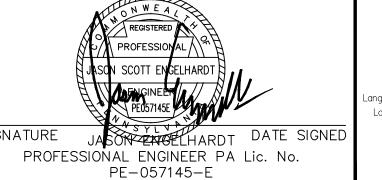
LEGEND	EXISTING
PROPERTY BOUNDARY	
LOT LINE	
BUILDING SETBACK	
ULTIMATE RIGHT-OF-WAY	
LEGAL RIGHT-OF-WAY	
EASEMENT	
CURBING	DEPRESSED CURB
BUILDING	EXIST. BUILDING
UTILITY POLE	Ø UP.
OVERHEAD ELECTRIC) O/E
WATER MAIN & VALVE	\$ <u>₩. V.</u>
FIRE HYDRANT	F.H.
WELL	EXIST. WELL
GAS MAIN & VALVE	S
SANITARY LINE, MANHOLE, & CLEANOUT	EXIST. MH W C.O.
STORM LINE, MANHOLE, & INLET	EXIST. MH EXIST. INLET
CHAIN-LINK FENCE	CHAIN-LINK FENCE
POST/SPLIT RAIL FENCE	SOST/SPLIT RAIL FENCE
WOOD FENCE	Y → WOOD FENCE
SIGN	٩
DECIDUOUS TREE	$\binom{6}{+}^{6}$ MAPLE
EVERGREEN TREE	6" PINE
TREE ROW	
CONTOUR -	
SPOT ELEVATION	590 590.53
WETLANDS	* * * * *
EDGE OF PAVEMENT	E.O.P.
BITUMINOUS	ВІТ.
TYPICAL	(TYP.)
FINISH FLOOR	F.F.
DOOR SILL	D.S.
EXISTING SOIL GROUP	
EXISTING SOIL GROUP NAME	RhC





ALLENTOWN, PA 18106 610-395-6857





T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc. Langan CT, Inc. Langan International LLC

LEHIGH COUNTY

Collectively known as Langan

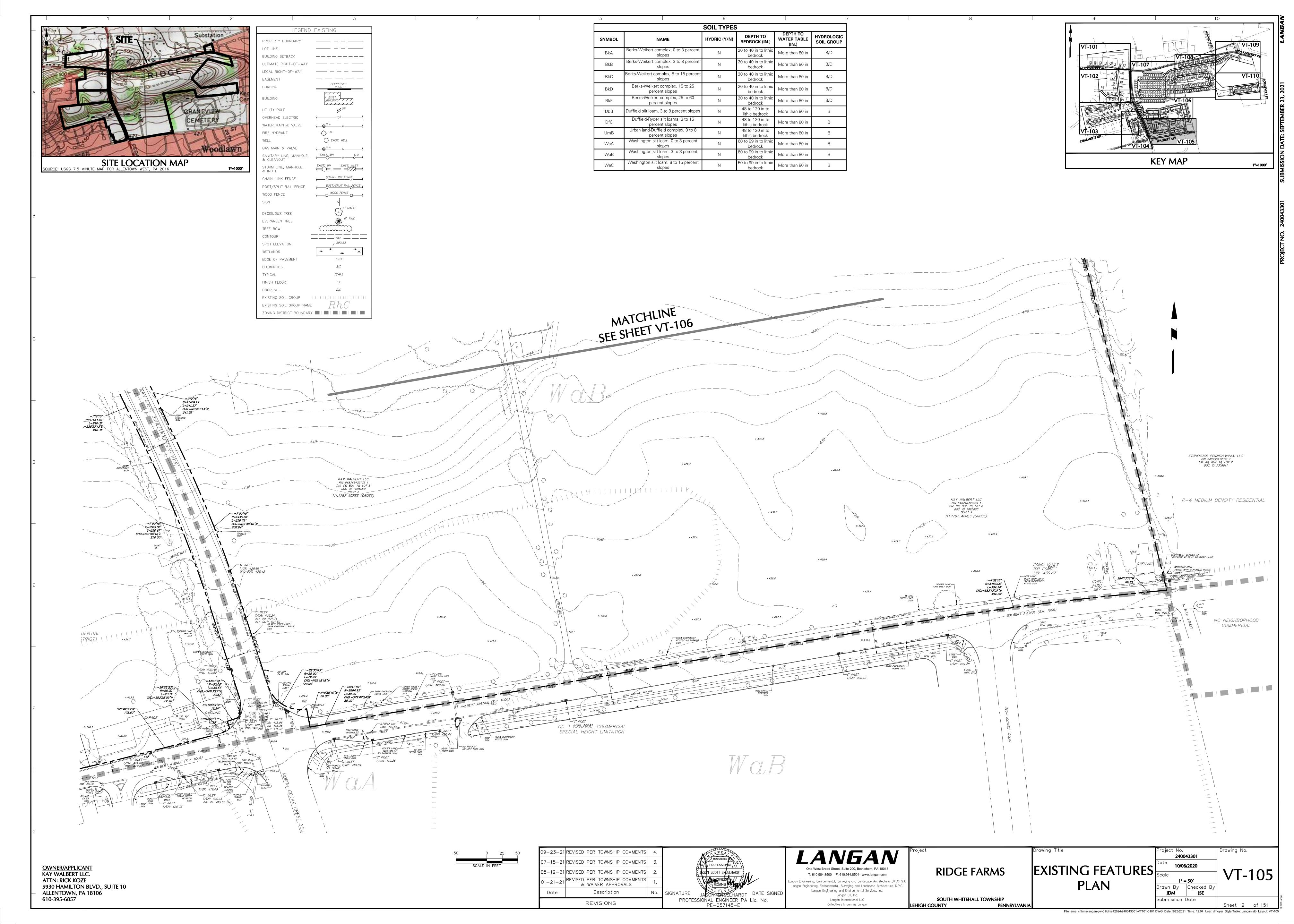
RIDGE FARMS PLAN SOUTH WHITEHALL TOWNSHIP

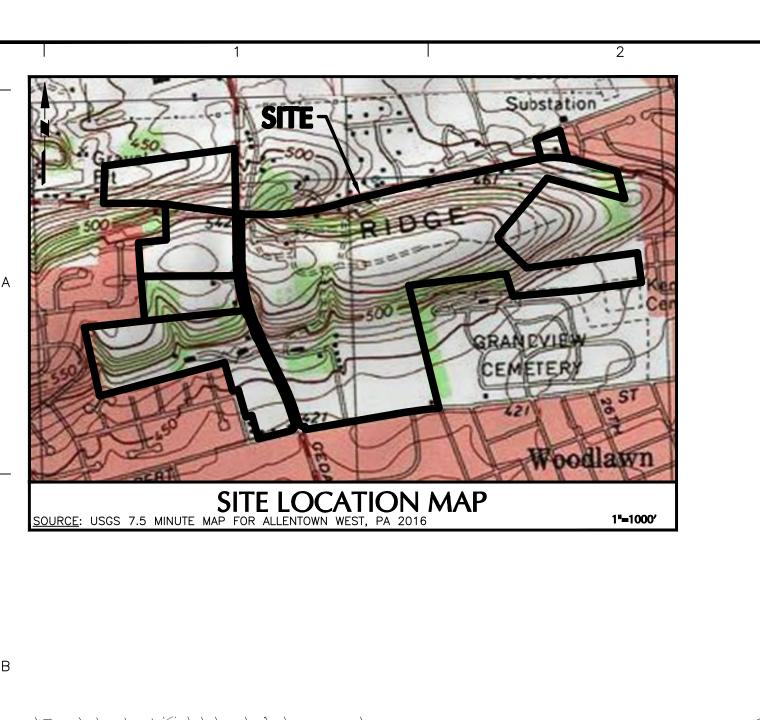
PENNSYLVANIA

EXISTING FEATURES Scale Drawn By Checked By Submission Date

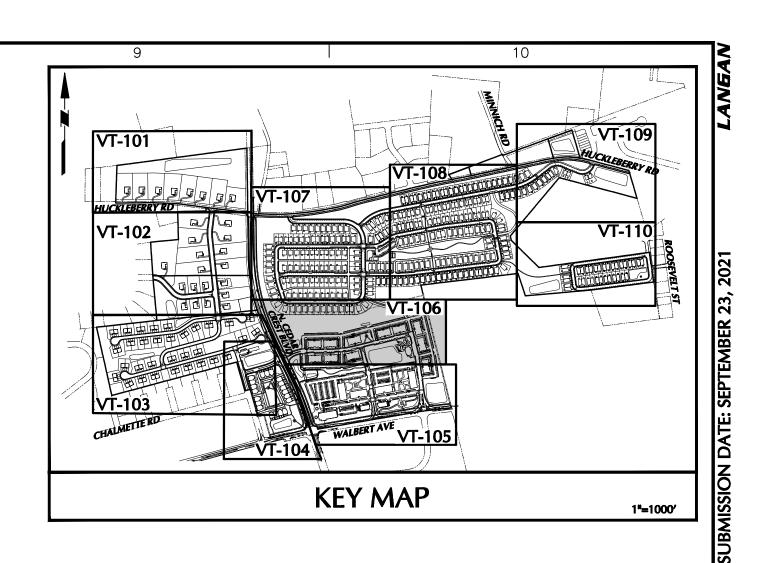
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SOIL TYPES						
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP	
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В	
DfC	Duffield-Ryder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В	
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	Ν	48 to 120 in to lithic bedrock	More than 80 in	В	
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В	
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В	
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В	



240043301

10/06/2020

1" = 50'
Drawn By Checked By

JSE

JDM ^{*}

Filename: c:\bms\langan-pw-01\dms42624\240043301-VT101-0101.DWG Date: 9/23/2021 Time: 12:04 User: dmoyer Style Table: Langan.stb Layout: VT-106

Submission Date

VT-106

EXISTING FEATURES

PLAN

RIDGE FARMS

SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

LEHIGH COUNTY

T: 610.984.8500 F: 610.984.8501 www.langan.com

ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A

Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc.

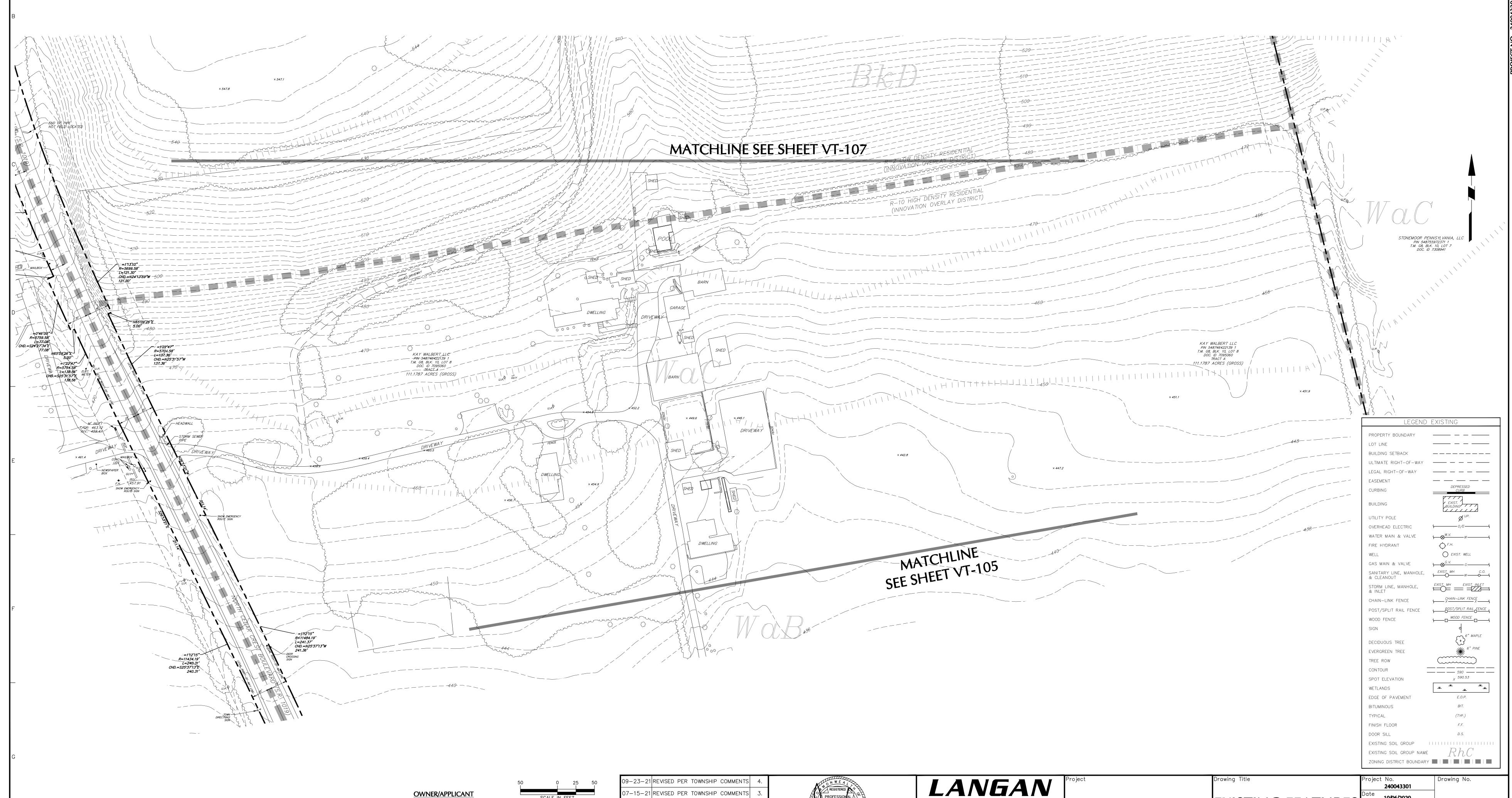
Langan CT, Inc.

Langan International LLC

Collectively known as Langan

PROFESSIONAL ENGINEER PA Lic. No.

PE-057145-E



7-15-21 REVISED PER TOWNSHIP COMMENTS

05-19-21 REVISED PER TOWNSHIP COMMENTS

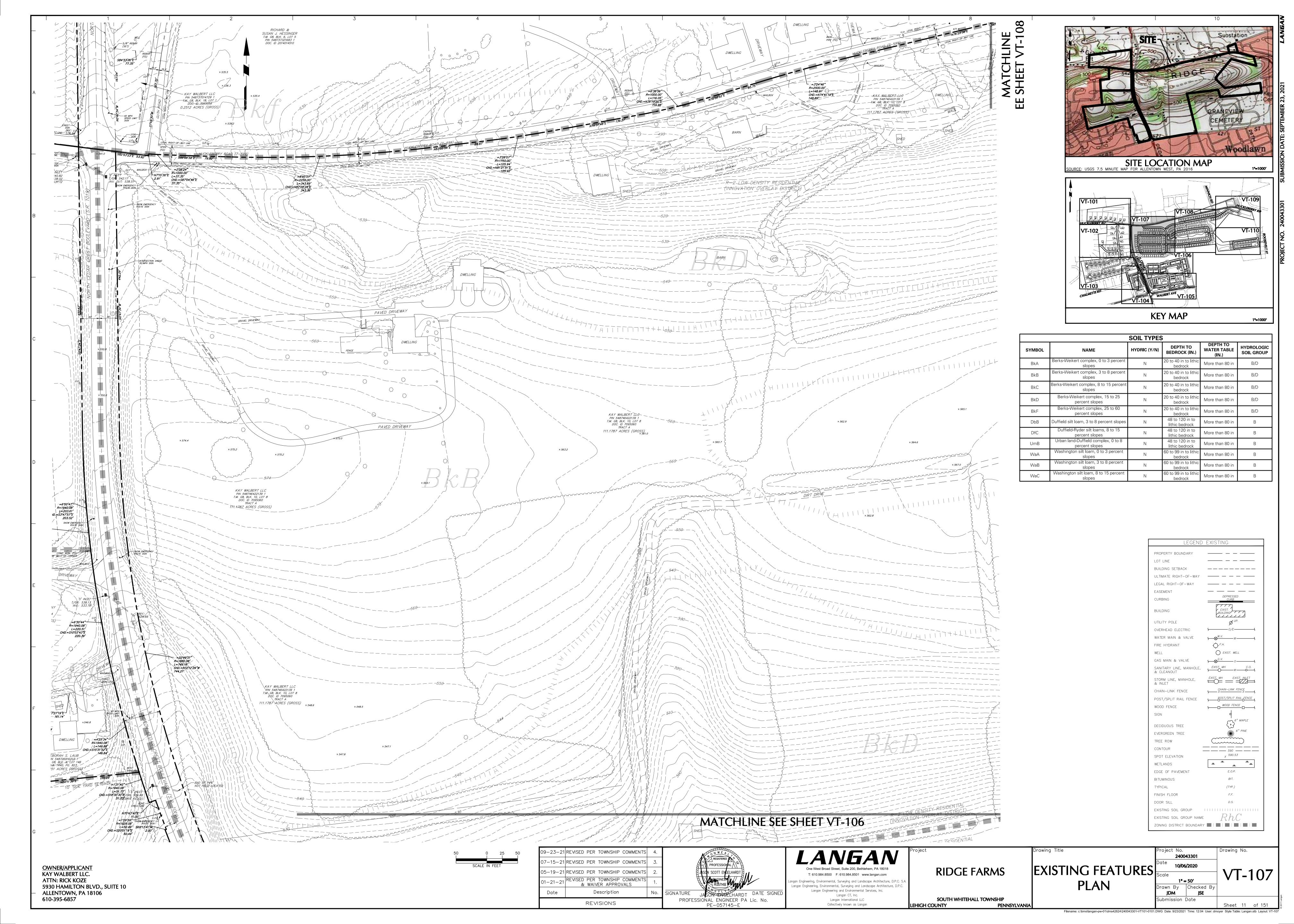
01-21-21 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS

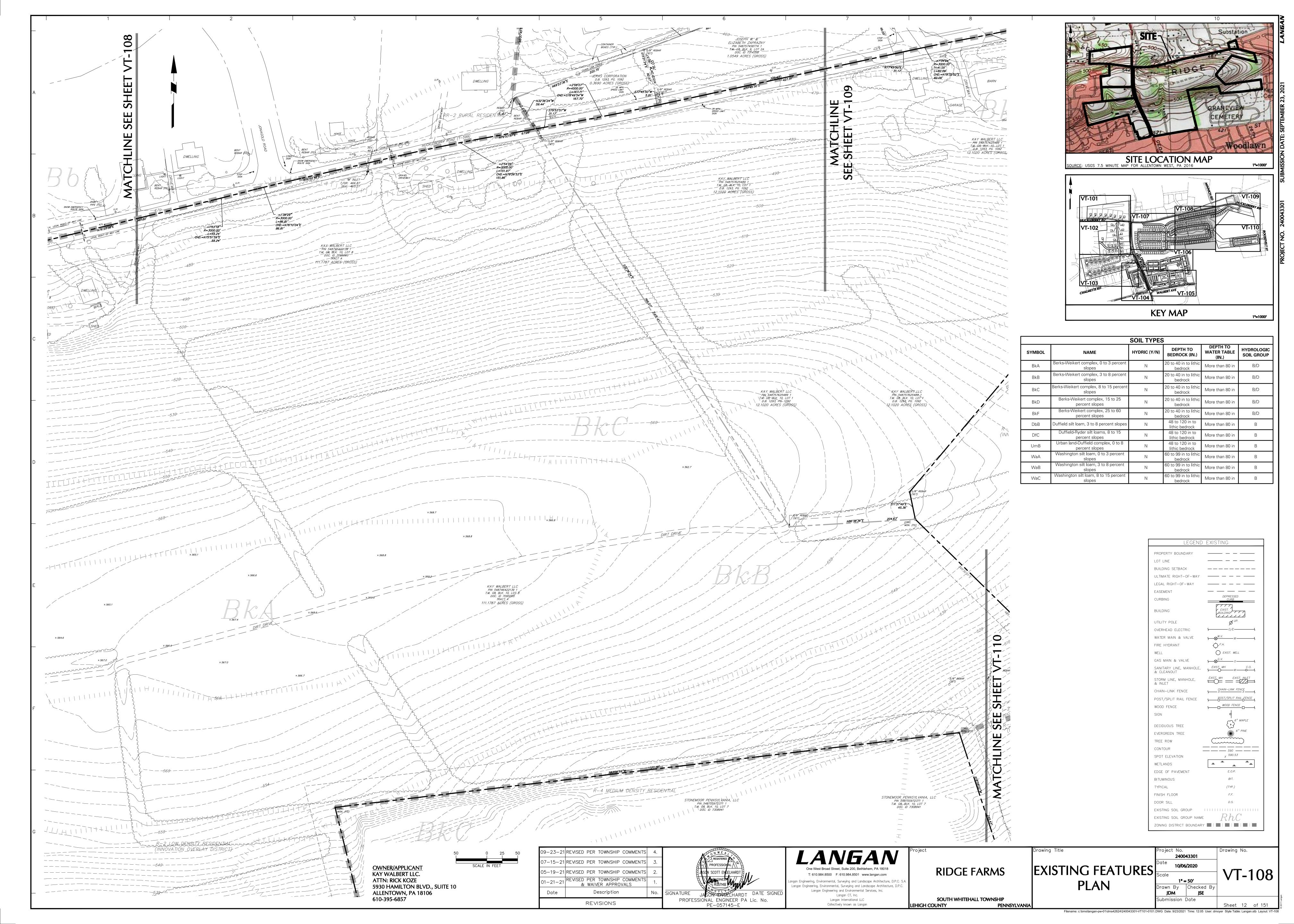
REVISIONS

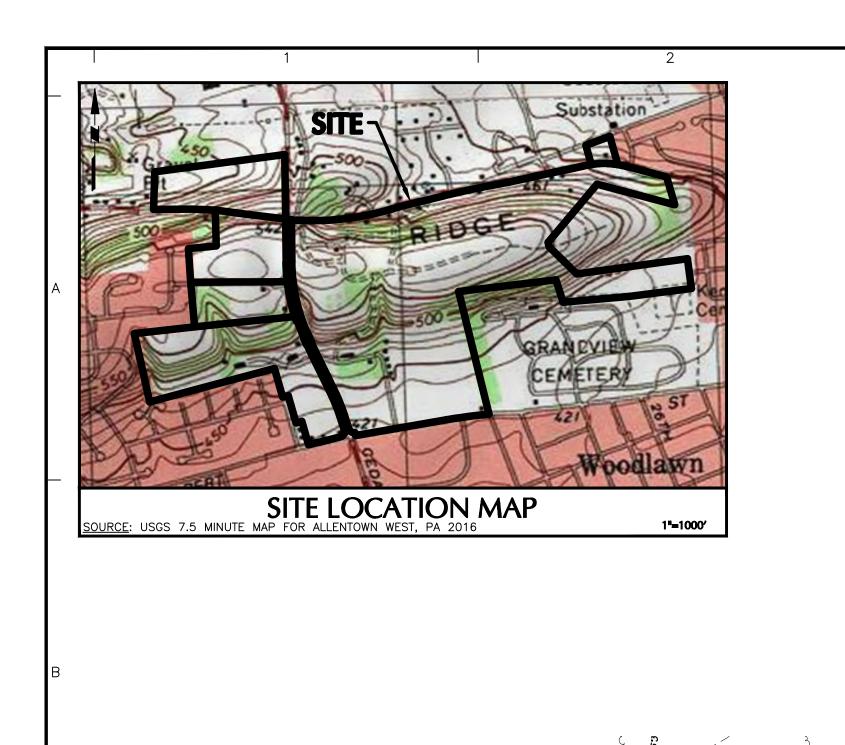
OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICK KOZE

ALLENTOWN, PA 18106 610-395-6857

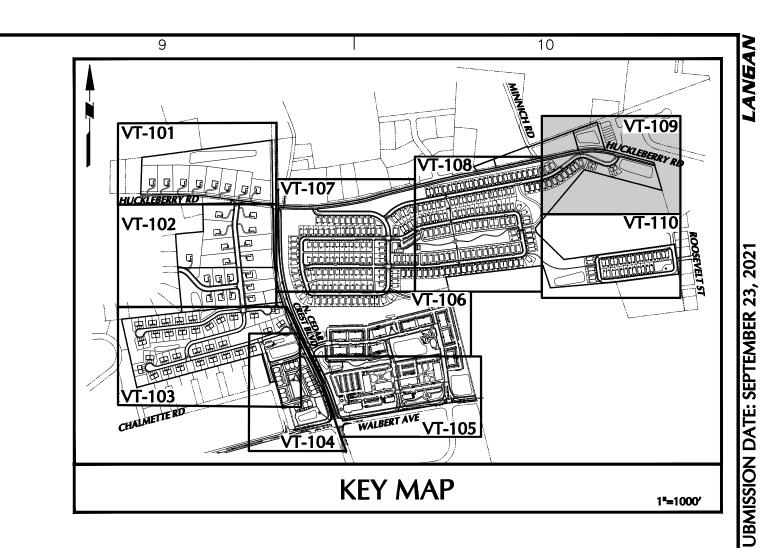
5930 HAMILTON BLVD., SUITE 10







SOIL TYPES						
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP	
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D	
DbB	Duffield silt loam, 3 to 8 percent slopes	Ν	48 to 120 in to lithic bedrock	More than 80 in	В	
DfC	Duffield-Ryder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	В	
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WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	В	



EXISTING FEATURES

PLAN

VT-109

1'' = 50'

Drawn By Checked By

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Submission Date

RIDGE FARMS

SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

LEHIGH COUNTY

T: 610.984.8500 F: 610.984.8501 www.langan.com

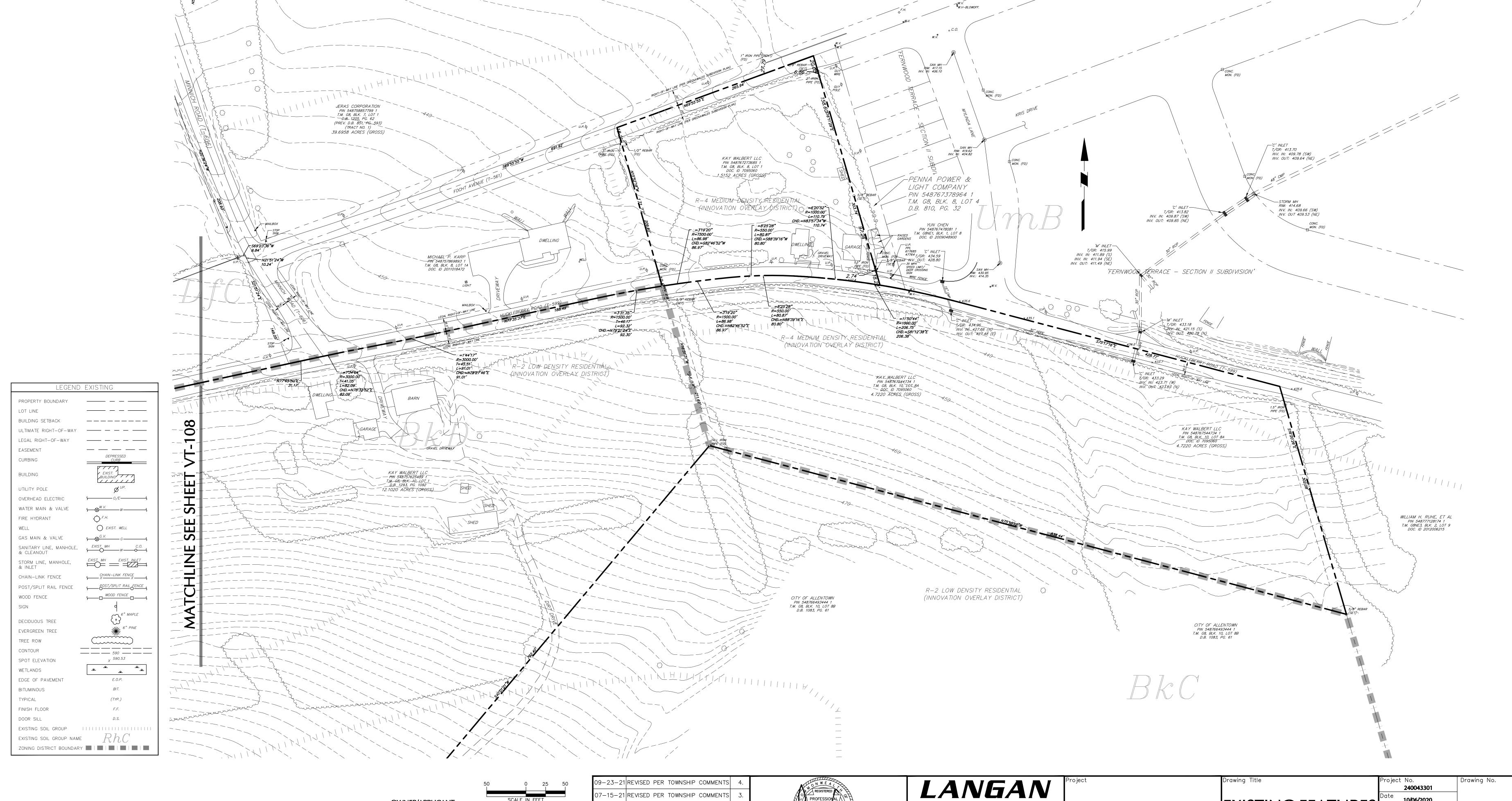
ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A

Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. Langan Engineering and Environmental Services, Inc.

Langan CT, Inc.

Langan International LLC

Collectively known as Langan



PROFESSIONAL ENGINEER PA Lic. No.

PE-057145-E

7-15-21 REVISED PER TOWNSHIP COMMENTS

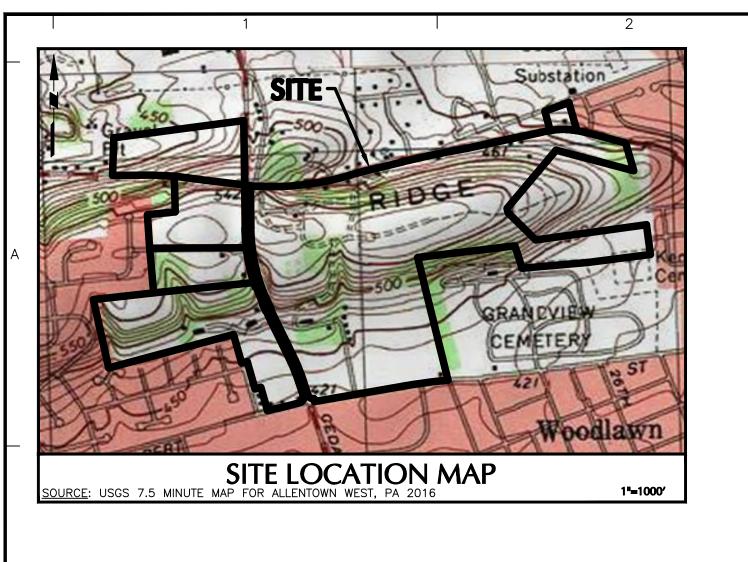
05-19-21 REVISED PER TOWNSHIP COMMENTS

01-21-21 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS

REVISIONS

OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICK KOZE

5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106 610-395-6857



LEGEND EXISTING

11/1///

O EXIST. WELL

_X 590.53

PROPERTY BOUNDARY

EASEMENT CURBING

BUILDING

UTILITY POLE

FIRE HYDRANT

OVERHEAD ELECTRIC

GAS MAIN & VALVE

SANITARY LINE, MANHOLE, & CLEANOUT

STORM LINE, MANHOLE, & INLET

POST/SPLIT RAIL FENCE

CHAIN-LINK FENCE

WOOD FENCE

DECIDUOUS TREE

EVERGREEN TREE

SPOT ELEVATION

EDGE OF PAVEMENT

EXISTING SOIL GROUP

TREE ROW CONTOUR

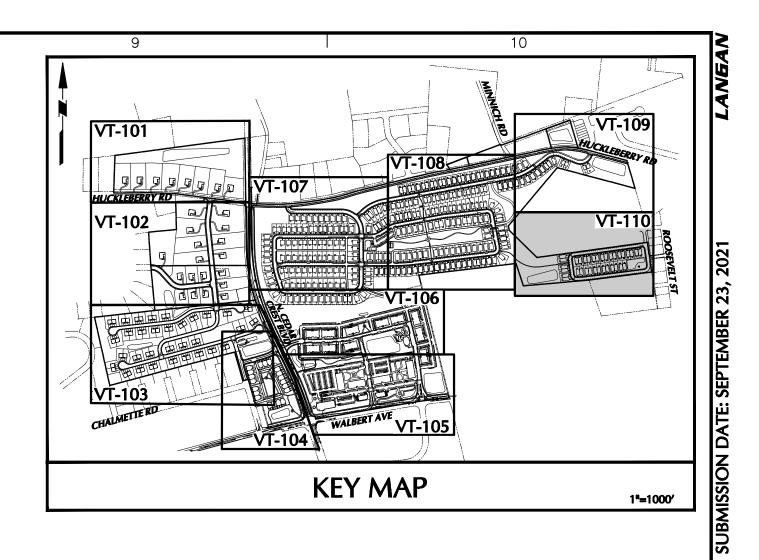
WETLANDS

BITUMINOUS TYPICAL FINISH FLOOR DOOR SILL

SIGN

WATER MAIN & VALVE

		SOIL TYPES			
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	Ν	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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240043301

1'' = 50'

Drawn By Checked By

JDM

Filename: c:\bms\langan-pw-01\dms42624\240043301-VT101-0101.DWG Date: 9/23/2021 Time: 12:05 User: dmoyer Style Table: Langan.stb Layout: VT-110

Submission Date

VT-110

EXISTING FEATURES

PLAN

RIDGE FARMS

SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

LEHIGH COUNTY

T: 610.984.8500 F: 610.984.8501 www.langan.com

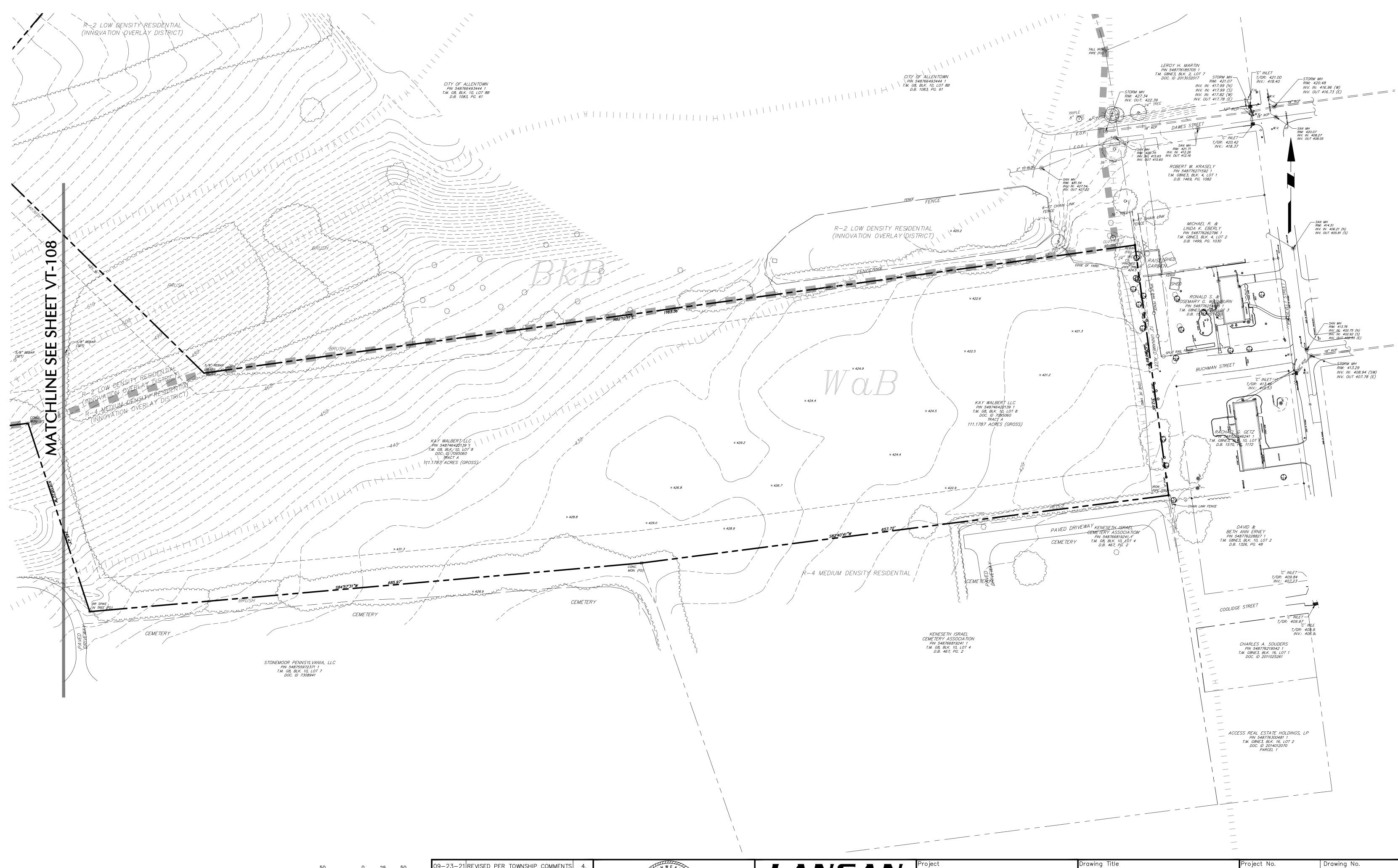
ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A

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09-23-21 REVISED PER TOWNSHIP COMMENTS

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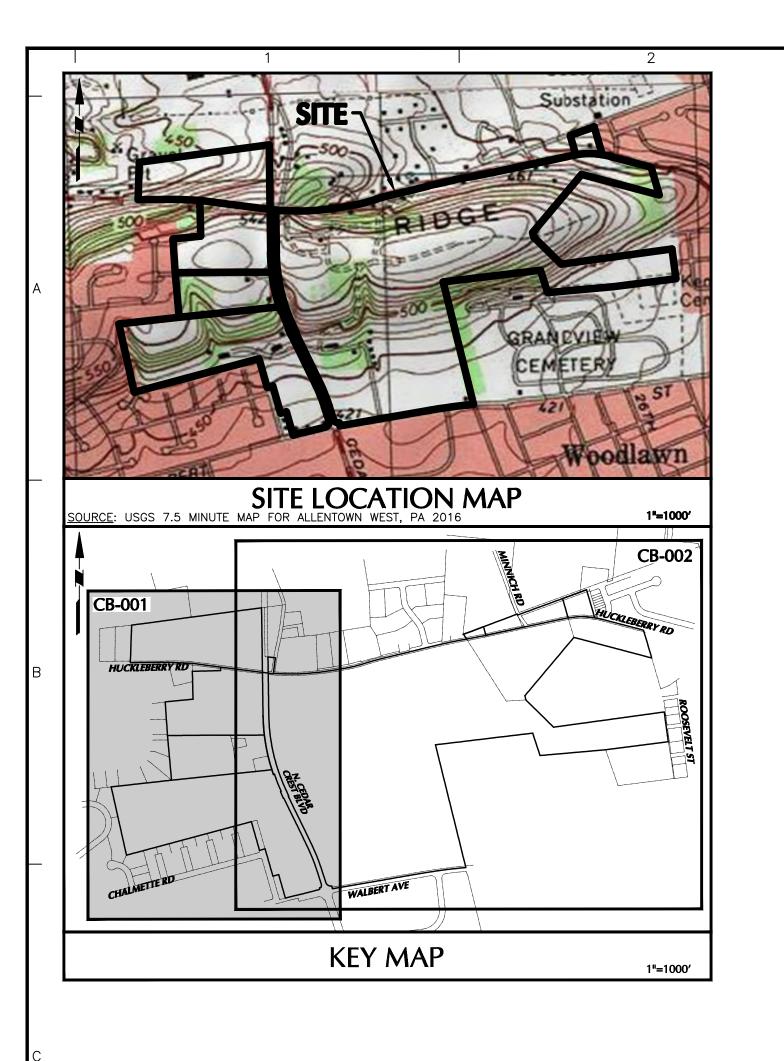
01-21-21 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS

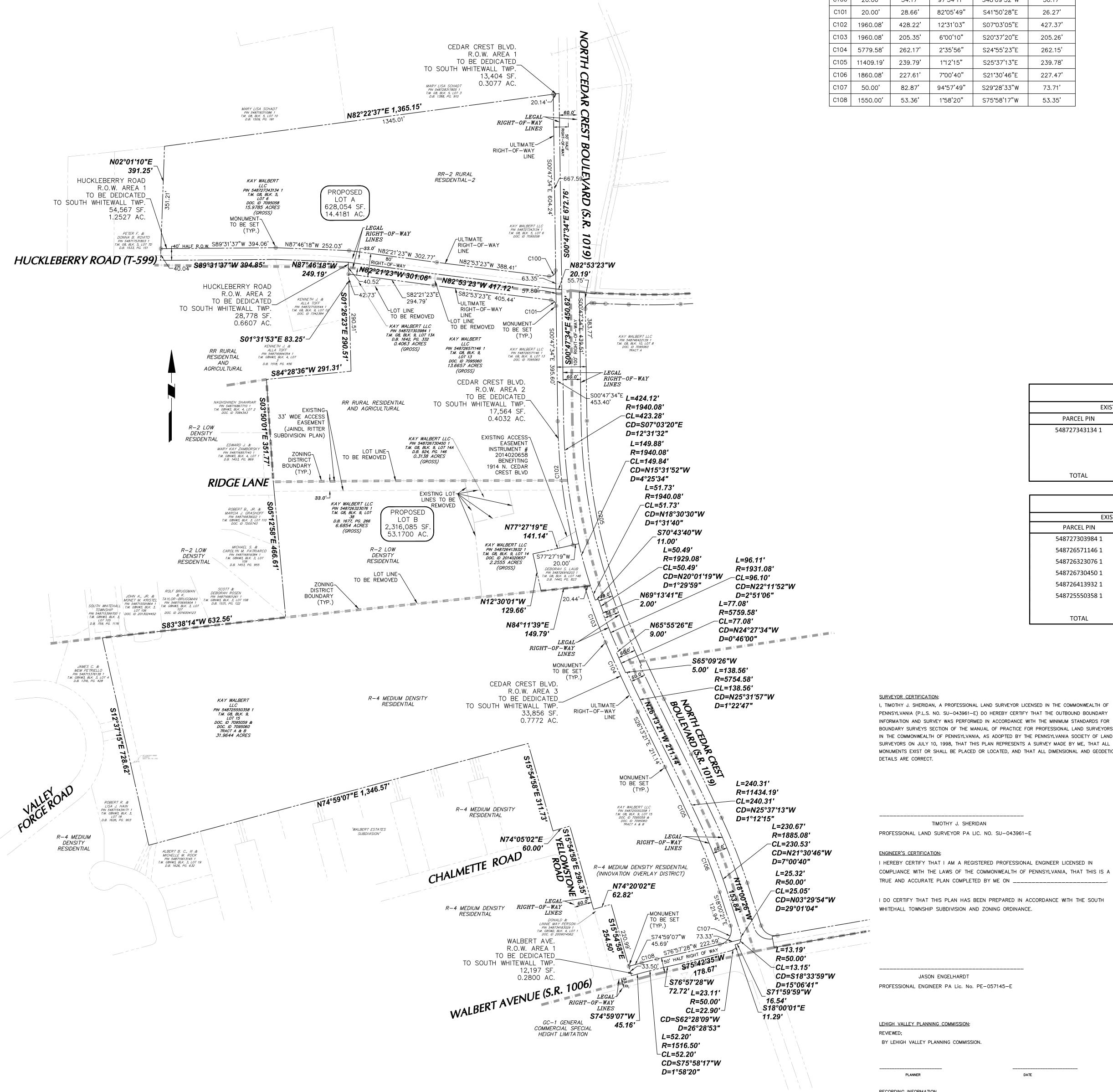
Description

REVISIONS

OWNER/APPLICANT

KAY WALBERT LLC.
ATTN: RICK KOZE
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857





	CURVE TABLE						
CURVE	RADIUS	ARC LENTGH	DELTA	CHORD BEARING	CHORD LENGTH		
C100	20.00'	34.17'	97 ° 54 ' 11"	S48°09'32"W	30.17'		
C101	20.00'	28.66	82°05'49"	S41°50'28"E	26.27		
C102	1960.08'	428.22'	12°31'03"	S07°03'05"E	427.37		
C103	1960.08'	205.35	6°00'10"	S20°37'20"E	205.26		
C104	5779.58'	262.17'	2°35'56"	S24°55'23"E	262.15'		
C105	11409.19'	239.79'	1°12'15"	S25°37'13"E	239.78'		
C106	1860.08'	227.61'	7°00'40"	S21°30′46″E	227.47		
C107	50.00'	82.87'	94°57'49"	S29°28'33"W	73.71'		
C108	1550.00'	53.36'	1°58'20"	S75°58'17"W	53.35'		

GENERAL NOTES: 1. THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED

2. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS AS SHOWN HEREIN.

3. SUBJECT PROPERTY CONSISTS OF TAX PARCEL IDENTIFICATION NUMBERS; 548727303984-1, 548726571146 1, 548726323076-1, 548726730450 1, 548726413932-1, 548725550358 1.

4. BOUNDARY SHOWN IS FROM A FIELD SURVEY BY BARRY ISETT AND ASSOCIATES, DATED AUGUST 2, 2017, LAST REVISED JANUARY 9, 2018. CONTOUR LINES SHOWN ARE FROM A SURVEY, FLOWN ON APRIL 12, 2014, BY AERO-METRIC, AND DRAWINGS DATED JUNE 13, 2014 AND OCTOBER 29, 2015 FROM AERO-METRIC. 5. HORIZONTAL DATUM IS BASED ON THE SURVEY PLAN SET PREPARED BY BARRY ISETT, NAMED "SURVEY PLAN",

VERTICAL DATUM NAVD88.

7. NO CERTIFICATION IS MADE BY THE UNDERSIGNED AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.

8. IT IS IMPERATIVE THAT UTILITY COMPANIES BE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-242-1776 TO ORDER UTILITY MARKOUTS.

DATED 09/25/15, LAST REVISED 04/21/16.

9. CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITE WORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.

10. THE SUBJECT PROPERTIES LIE WITHIN A ZONE X - OTHER AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: ON THE FLOOD INSURANCE RATE MAPS IDENTIFIED AS COMMUNITY PANEL NO. 231 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 42077C0231 F AND COMMUNITY PANEL NO. 232 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 42077C0232 F.

11. THIS SITE IS IN THE FOLLOWING ZONING DISTRICTS; RR RURAL RESIDENTIAL AND AGRICULTURAL

RR-2 RURAL RESIDENTIAL -2 R-2 LOW DENSITY RESIDENTIAL (INNOVATION OVERLAY DISTRICT)

R-4 MEDIUM DENSITY RESIDENTIAL (INNOVATION OVERLAY DISTRICT) 12. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE PIN 548727303984-1, 548726571146 1, 548726323076-1

548726730450 1, 548726413932-1, 548725550358 1 INTO PROPOSED LOT B AND TO DEDICATE RIGHT-OF-WAY OF PIN 548727343134 1 TO SOUTH WHITEHALL TOWNSHIP. PLEASE REFER TO THE LOT AREA AND LOT CONSOLIDATION AREA TABLES FOUND ON THIS SHEET.

TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE

13. THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE

ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

LOT AREA TABLE					
EXISTING PROPOSED					
PARCEL PIN	AREA (AC.)	PARCEL	AREA (AC.)		
548727343134 1	15.9785	PROPOSED LOT A	14.4181		
		HUCKLEBERRY ROAD R.O.W. AREA 1	1.2527		
		CEDAR CREST BLVD. R.O.W. AREA 1	0.3077		
TOTAL	15.9785	TOTAL	15.9785		

EXISTING	ì	PROPOSED	
PARCEL PIN	AREA (AC.)	PARCEL	AREA (AC.)
548727303984 1	0.4063	PROPOSED LOT B	53.1700
548726571146 1	13.6657	HUCKLEBERRY ROAD R.O.W. AREA 2	0.6607
548726323076 1	6.6854	CEDAR CREST BLVD. R.O.W. AREA 2	0.4032
548726730450 1	0.3138	CEDAR CREST BLVD. R.O.W. AREA 3	0.7772
548726413932 1	2.2555	WALBERT AVE. R.O.W. AREA 1	0.2800
548725550358 1	31.9644		
TOTAL	55.2911	TOTAL	55.2911

SURVEYOR CERTIFICATION:

I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN

OWNERS CERTIFICATE:

RICK KOZE

ON THIS, THE _____ DAY OF

KAY WALBERT LLC; MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

_____, 20___, BEFORE ME, THE UNDERSIGNED OFFICER,

_ MY COMMISSION EXPIRES: ___ (NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:

I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE KAY WALBERT LLC; MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:

__ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION APPROVED ____ (MONTH DAY YEAR) ____ (SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:

_ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

Filename: c:\bms\langan-pw-01\dms42624\240043301-0504-CB101-0001.DWG Date: 9/23/2021 Time: 12:05 User: dmoyer Style Table: Langan.stb Layout: CB-00

_ (SECRETARY)

RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN

RECORDING INFORMATION

RIDGE FARMS

JASON ENGELHARDT

VOL NO. _____, PAGE NO._____ ON _____, 20____.

PENNSYLVANIA

LOT **CONSOLIDATION**

(RECORD PLAN)

Drawing No. 240043301 1/21/2021 CB-001 1**"** = 150' Orawn By Checked By JDM ubmission Date

____ (TOWNSHIP ENGINEER)

STORMWATER BMP AREA CONCRETE SIDEWALK RETAINING WALL BASIN LIMITS EXISTING STORM SEWER EXISTING SANITARY SEWER MANHOLE EXISTING WATER MAIN EXISTING FIRE HYDRANT PROPOSED STORM SEWER EXISTING CATCH BASIN PROPOSED SANITARY SEWER EXISTING WATER VALVE PROPOSED SANITARY SEWER FORCE MAIN -----UFM------PROPOSED WATER MAIN EXISTING MANHOLE PROPOSED GAS MAIN EXISTING ELECTRIC POLE PROPOSED TELEPHONE AND ELECTRIC -----T&E-----PROPOSED FIRE HYDRANT

LEGEND

EXISTING CURB LINE

EXISTING MONUMENT

EXISTING PROPERTY LINE

PROPOSED BUILDING LINE PROPERTY LINE

BUILDING SETBACK LINE

PROPOSED UTILITY EASEMENT

PROPOSED LOT LINE (WITH PIN MARKER)

PROPOSED LOT LINE
(WITH CONCRETE REFERENCE MONUMENTS)

EXISTING FENCE

EXISTING CONTOUR

SOIL TYPE

TREELINE

PROPOSED CONTOUR

EXISTING SPOT ELEVATION

PROPOSED SPOT ELEVATION

 $\times 360.3$

UudB

5930 HAMILTON BLVD., SUITE 10

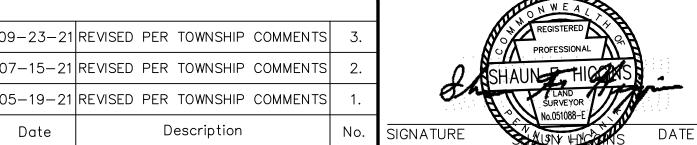
OWNER/APPLICANT

ALLENTOWN, PA 18106

KAY WALBERT LLC.

ATTN: RICK KOZE

610-395-6857



REVISIONS

PROFESSIONAL

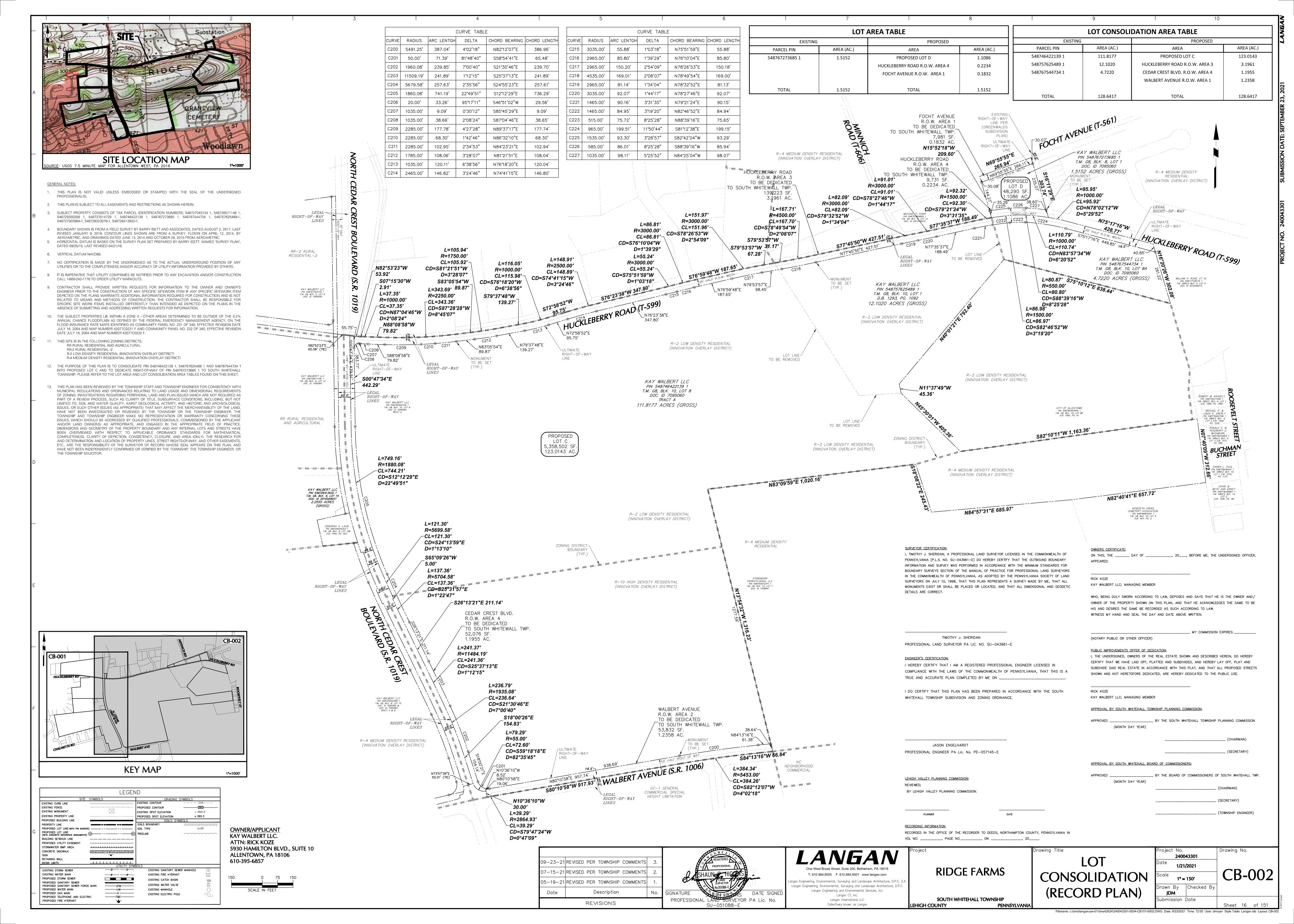
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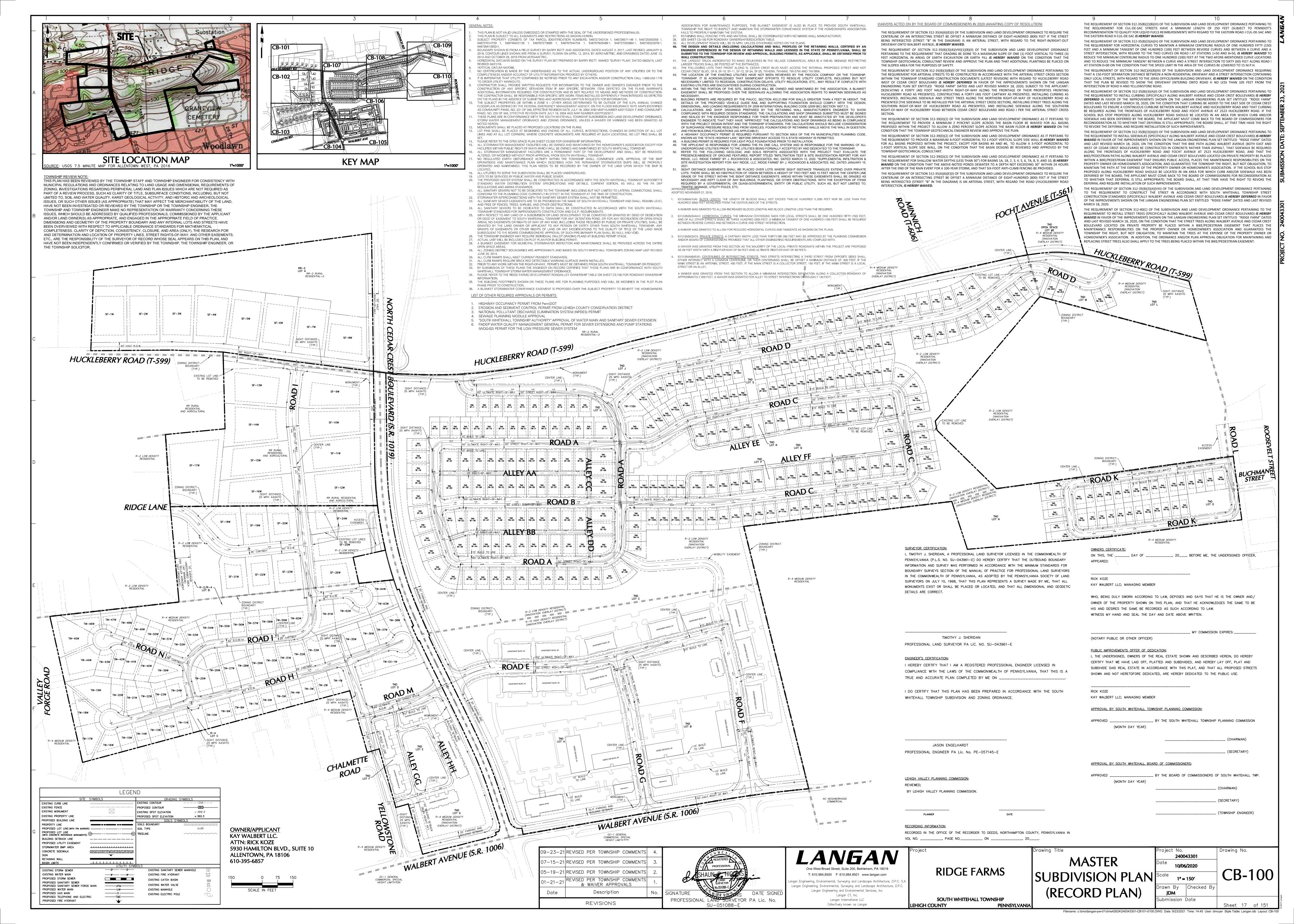
T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.(

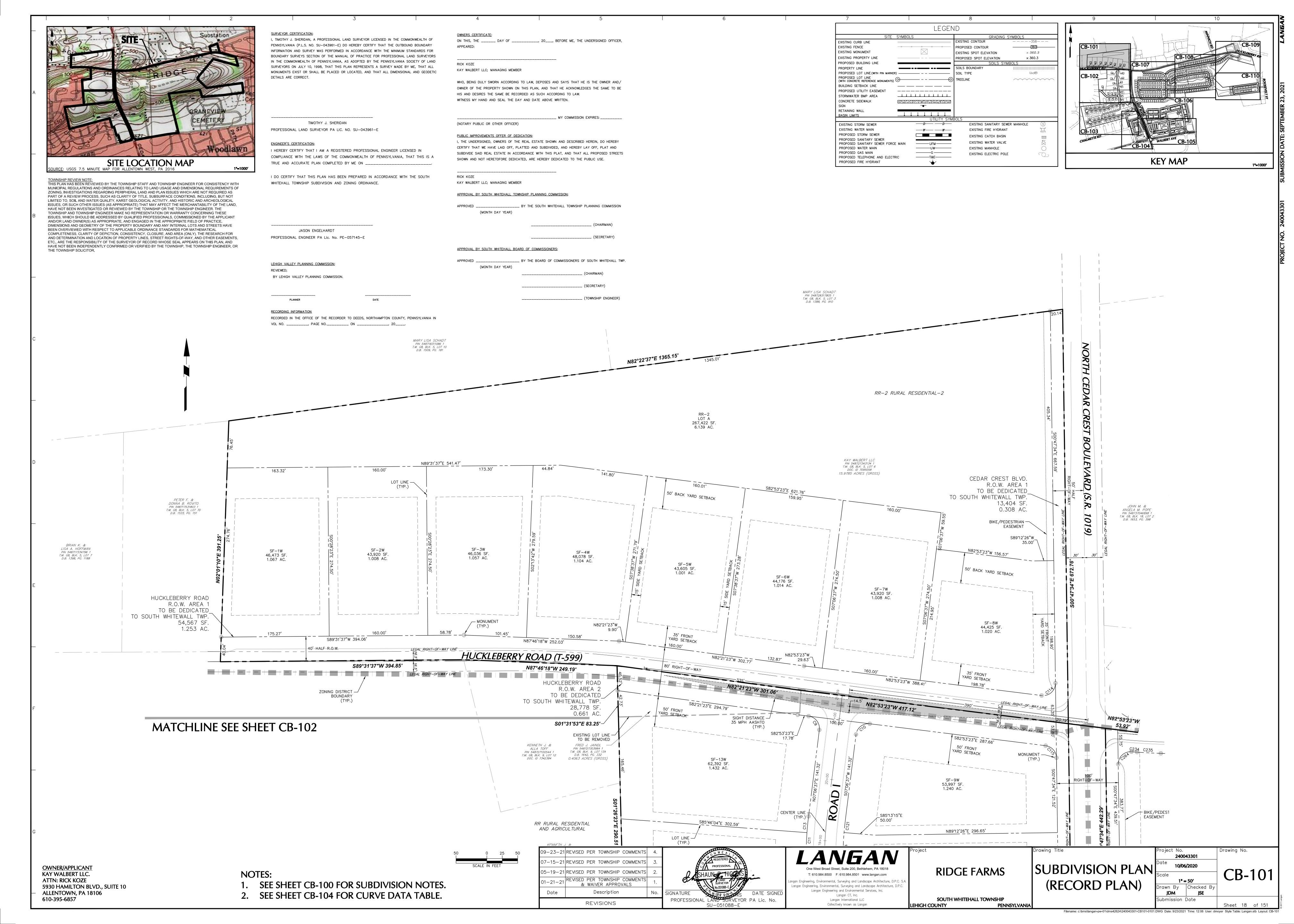
Langan CT, Inc.

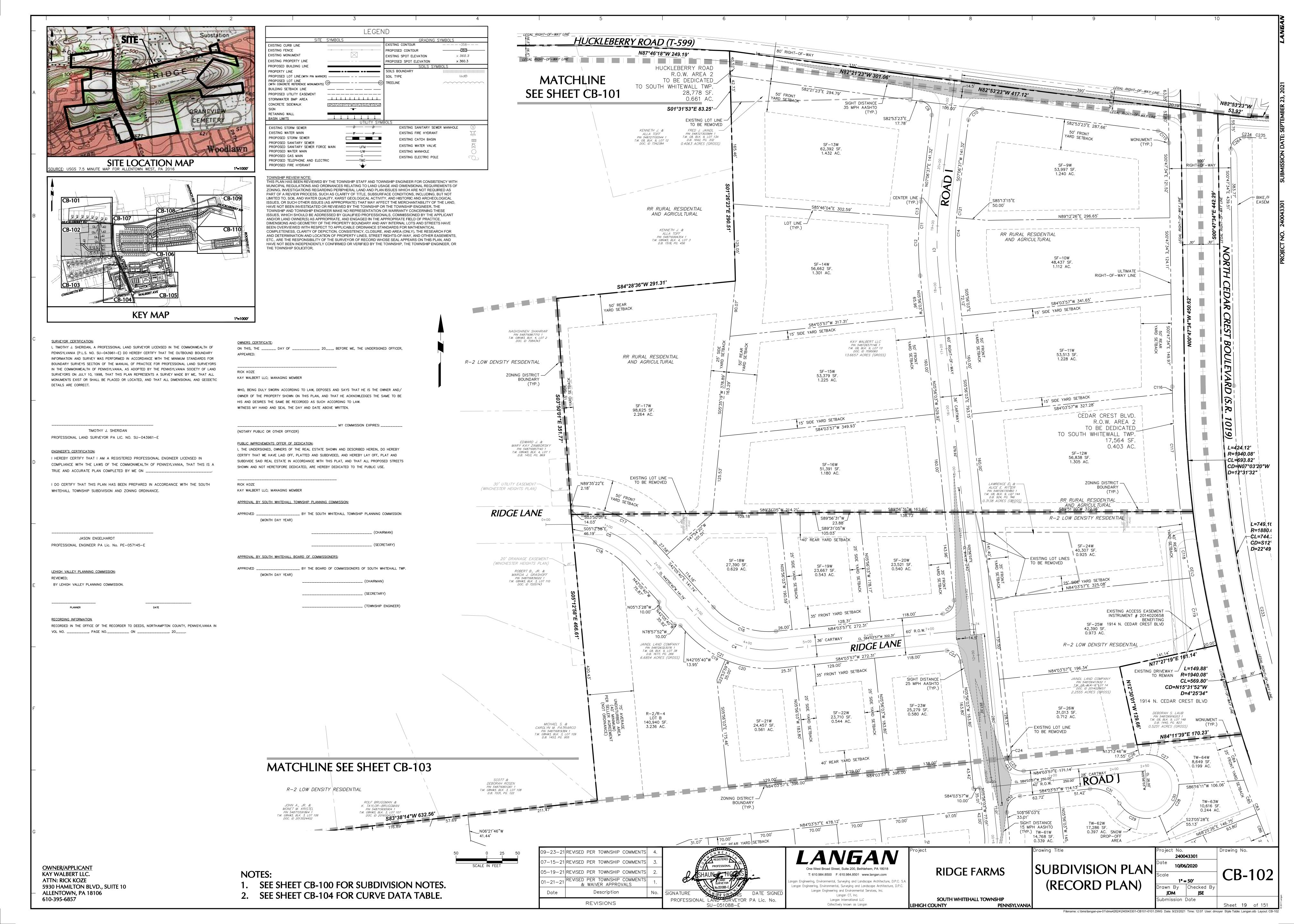
Langan International LLC

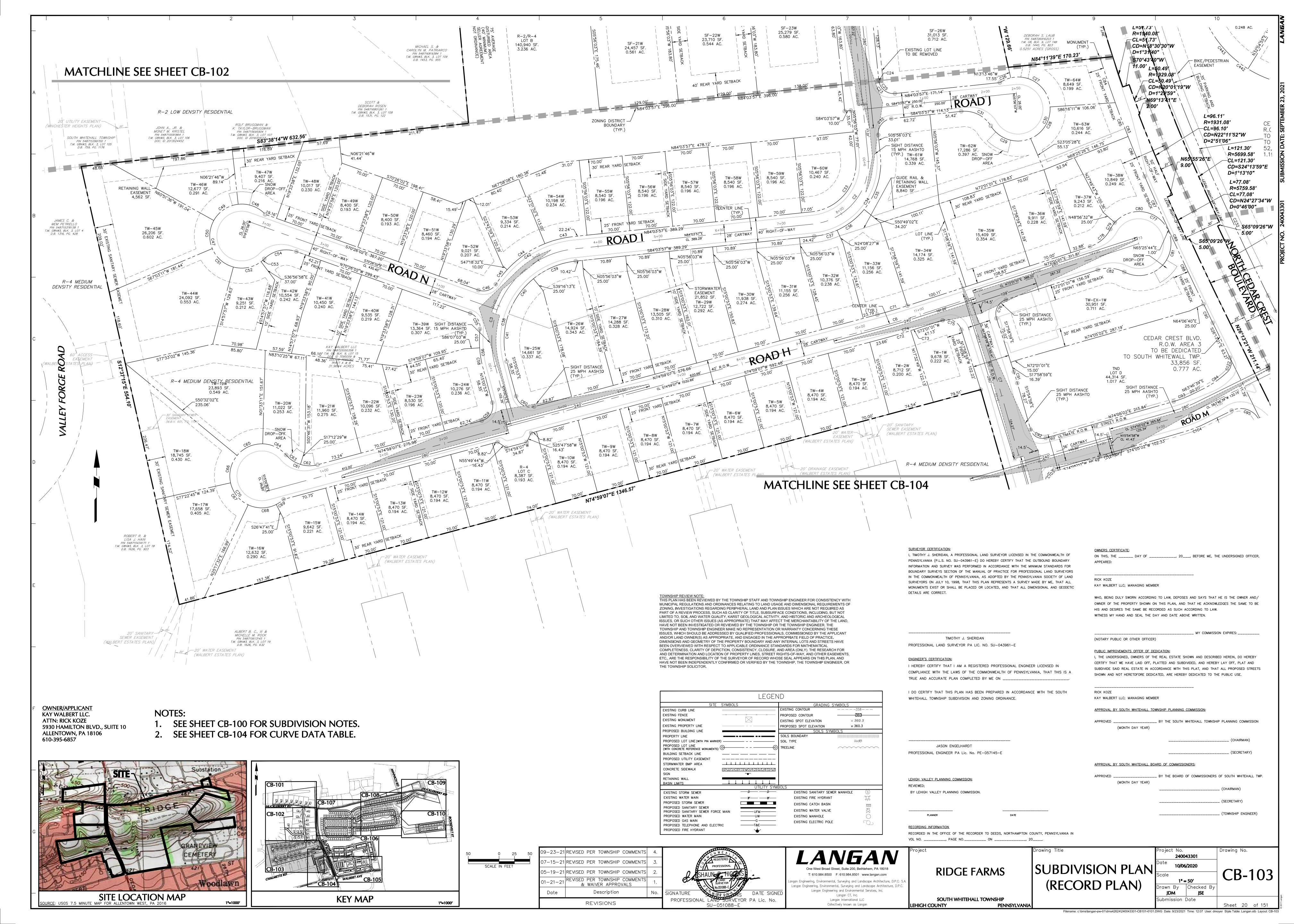
Langan Engineering and Environmental Services, Inc. SOUTH WHITEHALL TOWNSHIP Collectively known as Langan LEHIGH COUNTY

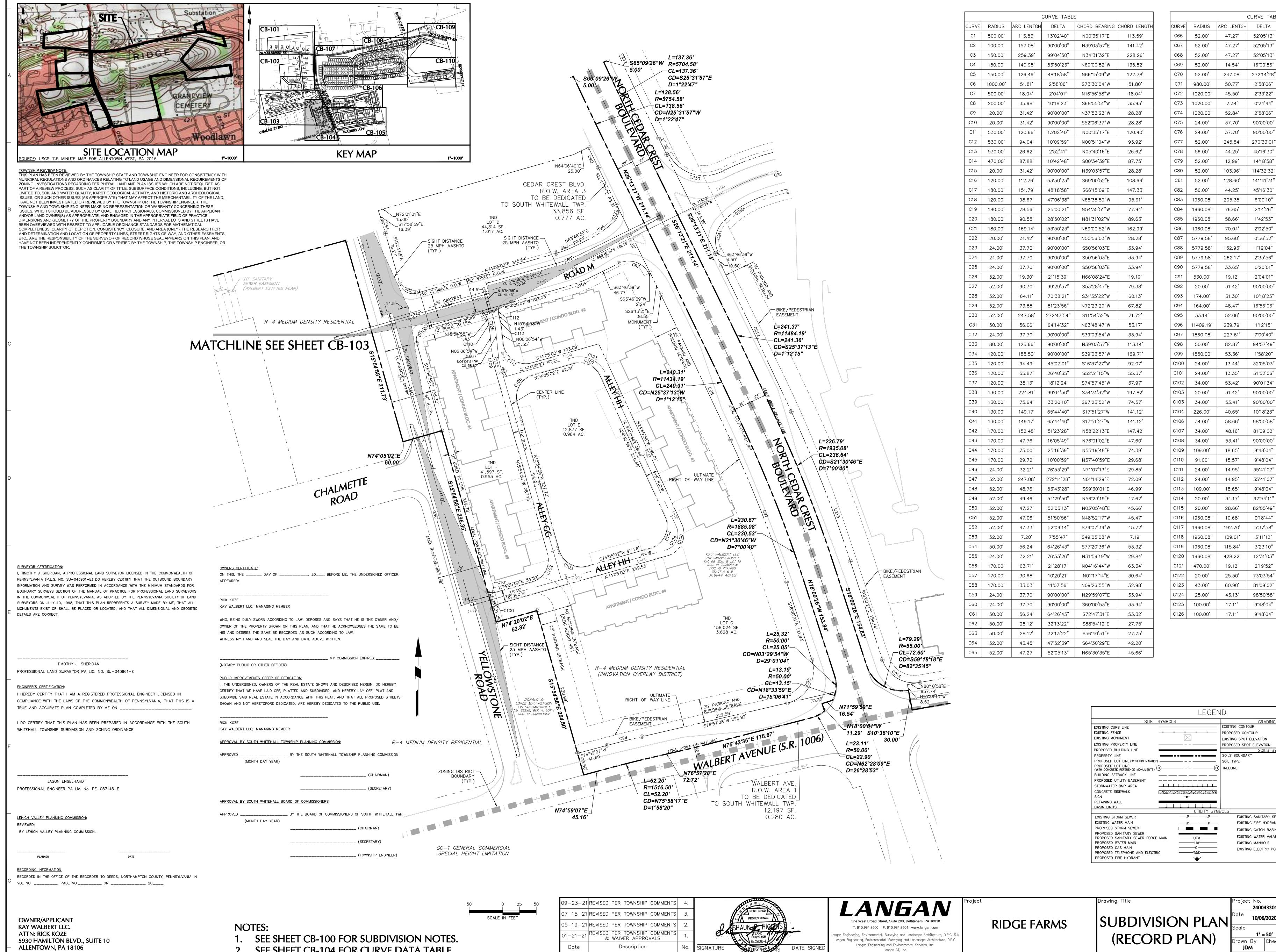












52°05'13" N38°39'52"W 45.66' 47.27' 52°05'13" S89°14'55"W 45.66' 16°00'56" S55°11'50"W 14.54' 14.49' N03°18'36"E 72.09 272°14'28' 2°58'06" N73°30'04"E 50.77' 45.50' 2°33'22" S73°42'26"W 45.50' 7.34' S72°13'23"W 7.34' 0°24'44" 52.84' 2°58'06" S73°30'04"W N62°58'59"W 33.94' S27°01'01"W 33.94' 37.70' 90°00'00" 73.19' S17°58'59"E 45°16'30" 44.25' N49°22'46"E 14°18'58" N33°54'00"E 12.96' 12.99' S81°40'16"E 87.49' 103.96' 114°32'32" 128.60' 141°41'31' S46°26'46"W 98.24' 44.25' 45°16'30" N85°20'44"W 43.11 205.35 6°00'10" S20°37'20"E 205.26 76.65' 2°14'26" S18°44'28"E 76.64' 58.66' 1°42'53" S20°43'07"E 58.66' 70.04 2°02'50" S22°35'59"E 70.04' 95.60' 0°56'52" S24°05'50"E 95.60' S25°13'48"E 132.92' 1°19'04" 132.93' 262.17' 2°35'56" S24°55'23"E 262.15' 33.65' 0°20**'**01' S26°03'20"E 33.65' 19.12' 2°04'01" S16°56'58"E 19.12' 31.42' 90°00'00" S60°54'58"E 28.28' 31.30' 10°18'23" N68°55'51"E 31.26' 16**°**56'06" 48.47' N55°18'36"E N71°13'21"W 46.87' 239.79' 1°12'15" S25°37'13"E 239.78' 7°00'40" S21°30'46"E 227.47 227.61' 94°57'49" S29°28'33"W 82.87' 53.36' 1°58'20" S75°58'17"W 53.35' 13.44' 32°05'03" N58°02'31"E 13.26' 31°52'06' S89°58'54"E 13.35' 13.18' 53.42' 90°01'34" N29°04'15"E 31.42' | 90°00'00" | 90°00'00" N60°54'58"W 10°18'23" S68°55'51"W 40.65' 58.66' 98°50'58" N24°39'33"E 51.65' 48.16' 81°09'02" S65°20'27"E 44.23' 53.41' 90°00'00" N29°05'02"E 48.08' 18.65' 9°48'04" N11°00'56"W 18.62' 15.57 9°48'04" N11°00'56"W 15.55' 14.95' 35°41'07" N33°45'31"W 14.71' 14.95' 35°41'07" N01°55'36"E 14.71' 18.65' 9°48'04" N11°00'56"W 18.62**'** 34.17**'** 97°54**'**11" S48°09'32"W 30.17**'** 28.66' 82°05'49" S41°50'28"E 26.27' 10.68' 0°18'44" S00°56'56"E 10.68' 192.70' 5°37'58" S03°55'16"E 192.62' 109.01' 3°11'12" S08°19'51"E 109.00'

CURVE TABLE

CHORD BEARING CHORD LENGTH

N13°25'21"E

	LEGE		
SITE S	SYMBOLS	GRADING	
EXISTING CURB LINE		EXISTING CONTOUR	——————————————————————————————————————
EXISTING FENCE	× × × ×	PROPOSED CONTOUR	360
EXISTING MONUMENT		EXISTING SPOT ELEVATION	imes 360.3
EXISTING PROPERTY LINE		PROPOSED SPOT ELEVATION	× 360.3
PROPOSED BUILDING LINE		SOILS SYN	MBOLS
PROPERTY LINE		SOILS BOUNDARY	
PROPOSED LOT LINE (WITH PIN MARKER)		- SOIL TYPE	UvdB
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	 	TREELINE	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
BUILDING SETBACK LINE		-	
PROPOSED UTILITY EASEMENT		-	
STORMWATER BMP AREA		-	
CONCRETE SIDEWALK		9	
SIGN	•		
RETAINING WALL		•	
BASIN LIMITS	UTILITY SY	- I MBOLS	
EXISTING STORM SEWER		EXISTING SANITARY SEW	VER MANHOLE S
EXISTING WATER MAIN		— EXISTING FIRE HYDRANT	
PROPOSED STORM SEWER		EXISTING CATCH BASIN	\\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
PROPOSED SANITARY SEWER		EXISTING WATER VALVE	WV
PROPOSED SANITARY SEWER FORCE PROPOSED WATER MAIN			\bowtie
PROPOSED GAS MAIN	———UW—————————————————————————————————	EXISTING MANHOLE	_
PROPOSED TELEPHONE AND ELECTRIC		EXISTING ELECTRIC POLE	
PROPOSED FIRE HYDRANT	ÿ 14£		

SEE SHEET CB-104 FOR CURVE DATA TABLE.

610-395-6857

Description REVISIONS

SOUTH WHITEHALL TOWNSHIP

PENNSYLVANIA

LEHIGH COUNTY

Langan International LLC

Collectively known as Langan

	Project No.	
	2400	43301
PLAN	Date 10/06	/2020
	Scale	
A	1" =	: 50′
AN)	Drawn By	Checked By
•	IDM	ISF

115.84

17.11

3°23'10"

12°31'03"

2°19'52"

73°03'54"

81°09'02"

98°50'58"

9°48'04"

9°48'04"

S11°37'02"E

S07°03'05"E

S05°56'41"W

N10°18'36"E

S65°20'27"E

S24°39'33"W

N11°00'56"W

N11°00'56"W

115.82

427.37**'**

19.12'

23.81'

55.94'

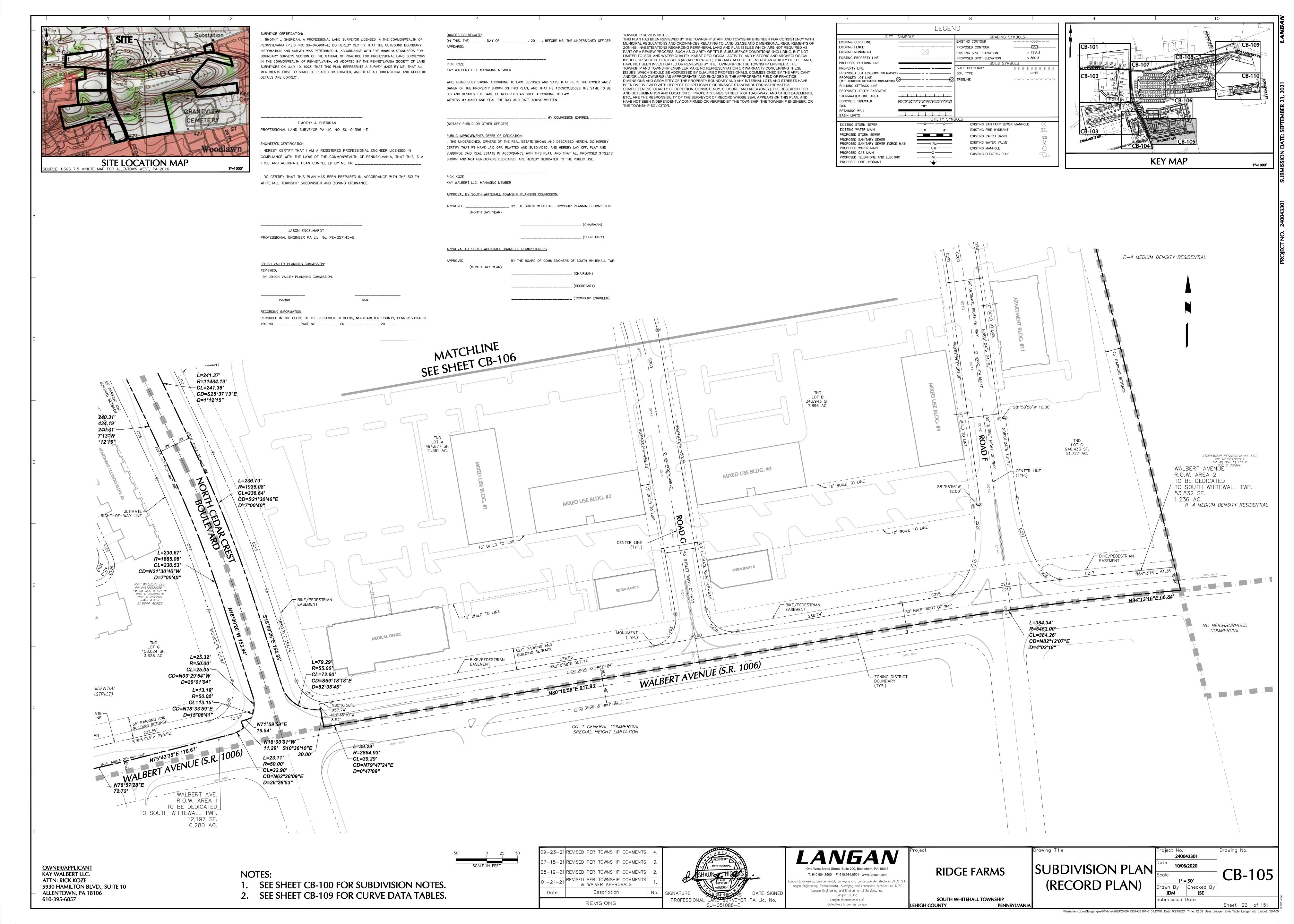
37.98'

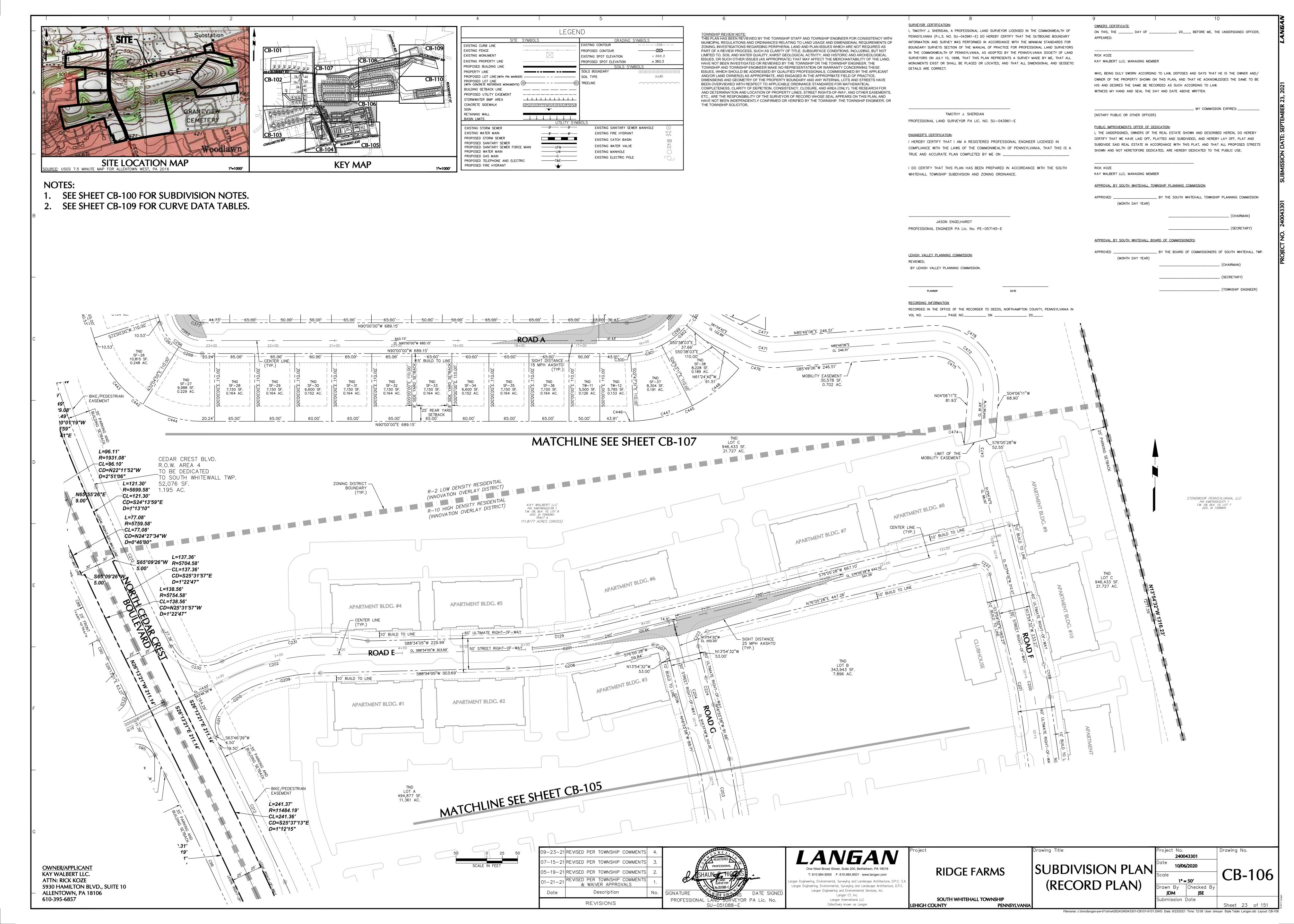
17.09'

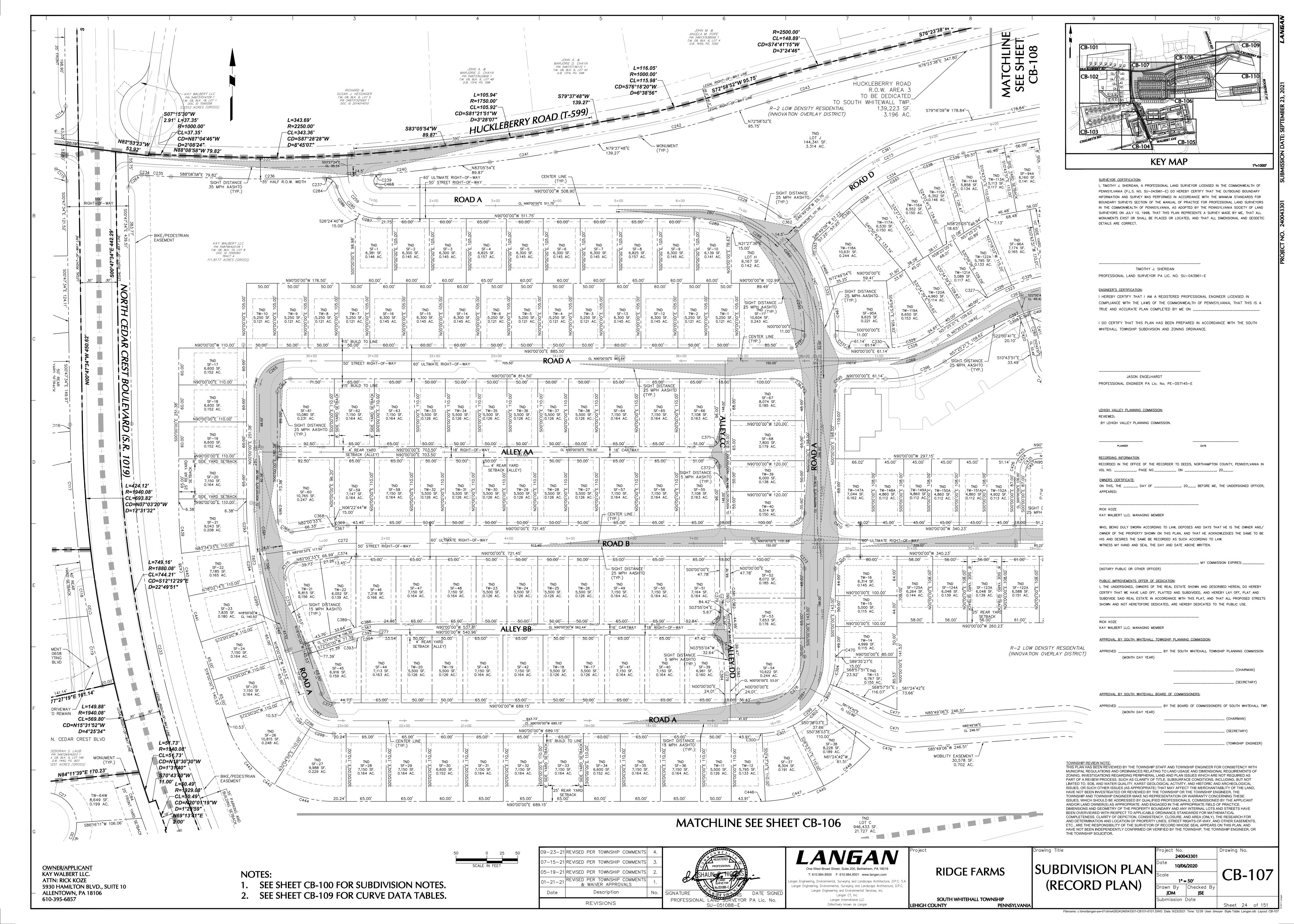
17.09'

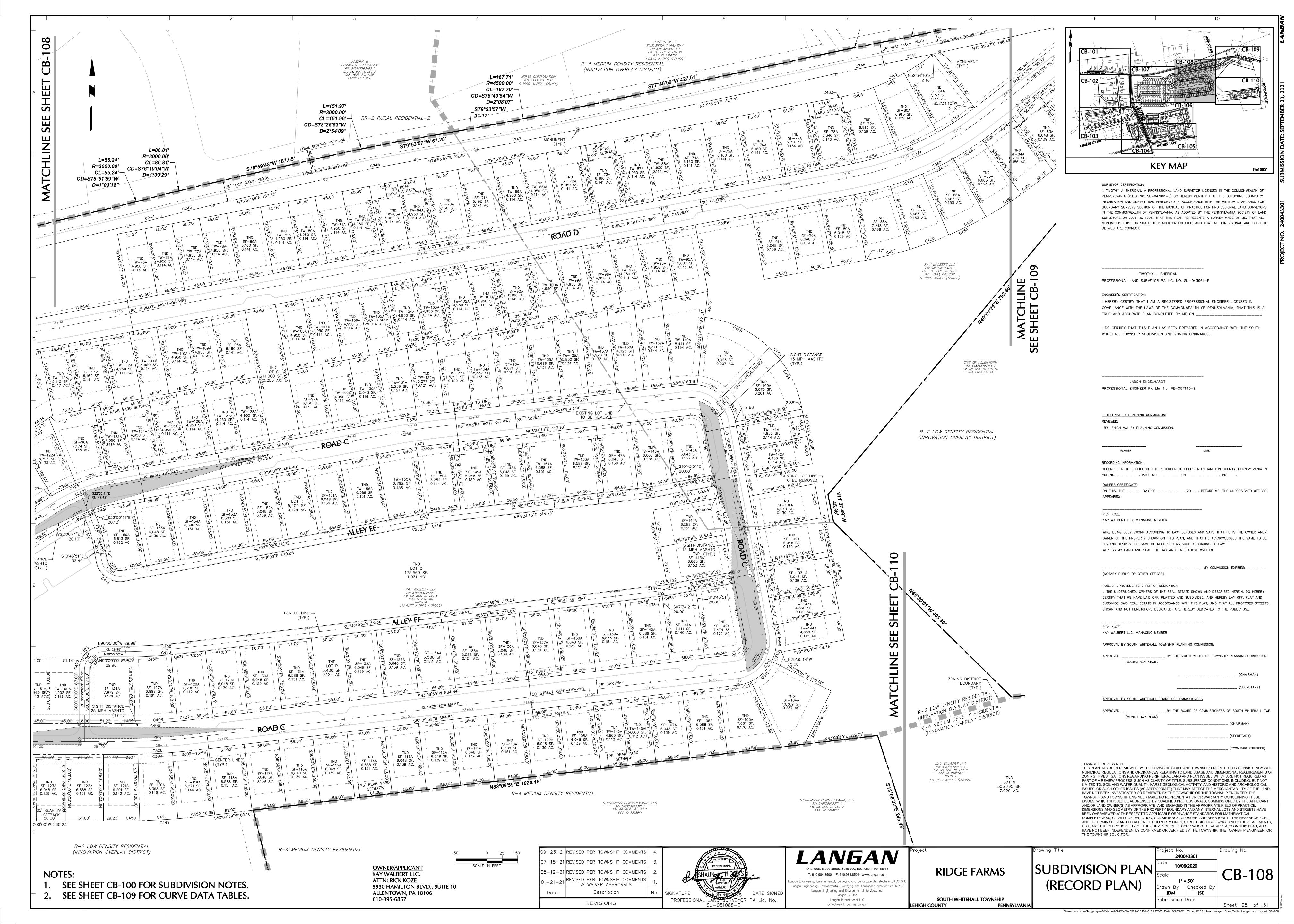
Drawing No. CB-104

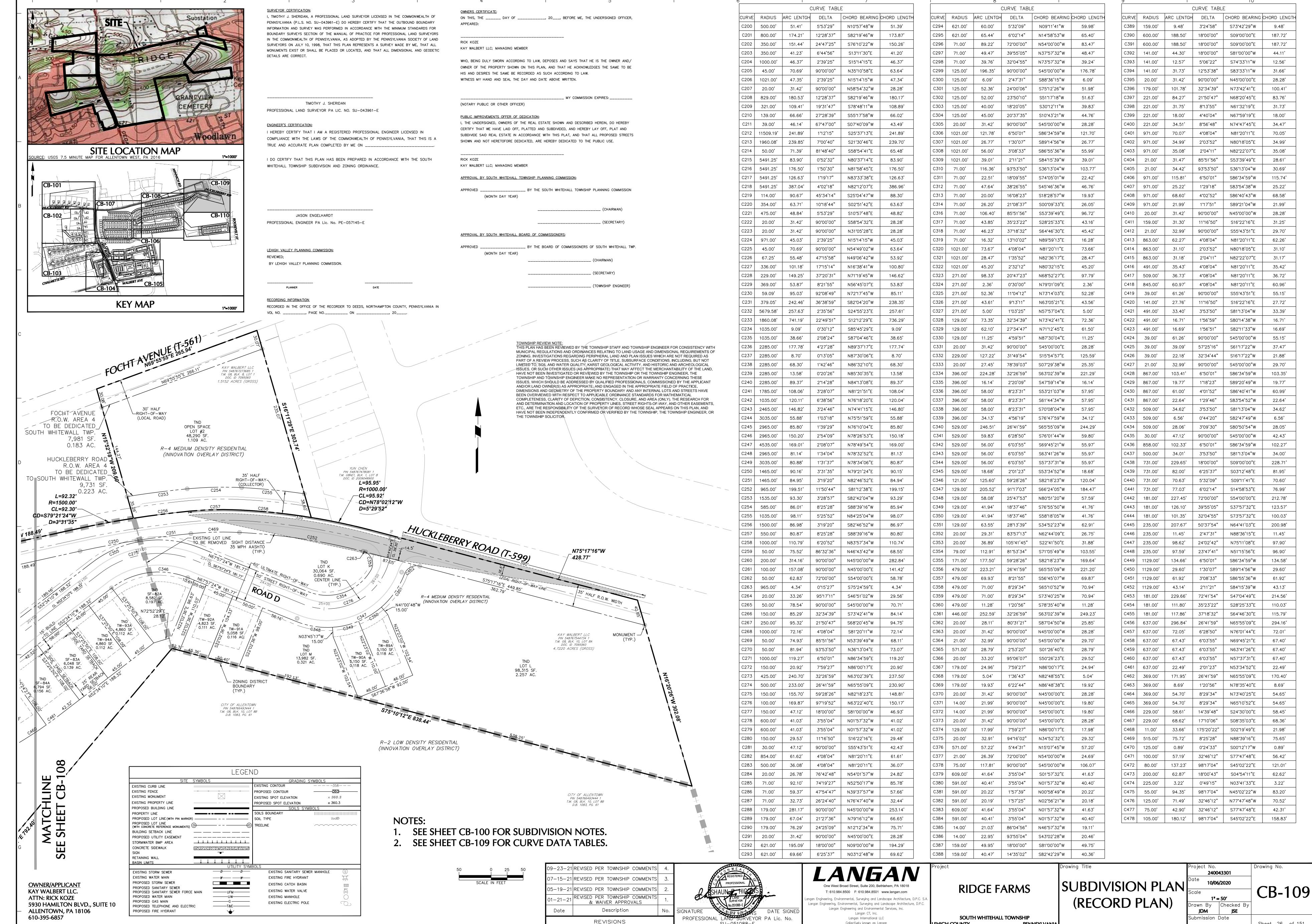
Submission Date Filename: c:\bms\langan-pw-01\dms42624\240043301-CB101-0101.DWG Date: 9/23/2021 Time: 12:07 User: dmoyer Style Table: Langan.stb Layout: CB-10-









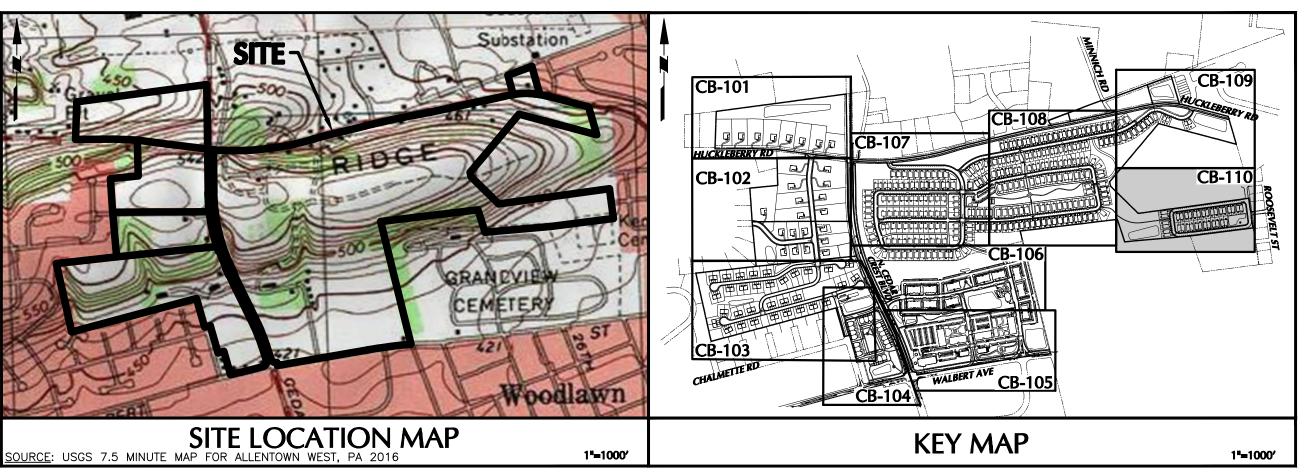


Collectively known as Langan

LEHIGH COUNTY

PENNSYLVANIA

Filename: c:\bms\langan-pw-01\dms42624\240043301-CB101-0101.DWG Date: 9/23/2021 Time: 12:09 User: dmoyer Style Table: Langan.stb Layout: CB-109



SITE SYMBOL	.S	GRADING S	
EXISTING CURB LINE		EXISTING CONTOUR	——————————————————————————————————————
EXISTING FENCE -*	× × × ×	PROPOSED CONTOUR	360
EXISTING MONUMENT		EXISTING SPOT ELEVATION	× 360.3
EXISTING PROPERTY LINE		PROPOSED SPOT ELEVATION	× 360.3
PROPOSED BUILDING LINE		SOILS SYM	BOLS
PROPERTY LINE	•••	SOILS BOUNDARY	
PROPOSED LOT LINE (WITH PIN MARKER) -		SOIL TYPE	UudB
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	<u> </u>) TREELINE	~~~~~~
BUILDING SETBACK LINE ————			
PROPOSED UTILITY EASEMENT $$			
STORMWATER BMP AREA			
CONCRETE SIDEWALK			
SIGN	•		
RETAINING WALL			
BASIN LIMITS	LITHITY CYM	I DOLC	
EVICTING CTORM CEWER	UTILITY SYM	EXISTING SANITARY SEWE	ER MANHOLE (S)
EXISTING STORM SEWER	<i>D</i>		_
EXISTING WATER MAIN		EXISTING FIRE HYDRANT	
PROPOSED STORM SEWER		EXISTING CATCH BASIN	
PROPOSED SANITARY SEWER PROPOSED SANITARY SEWER FORCE MAIN	UFM	EXISTING WATER VALVE	₩V
PROPOSED WATER MAIN	UW	EXISTING MANHOLE	
PROPOSED GAS MAIN	G	EXISTING ELECTRIC POLE	
PROPOSED TELEPHONE AND ELECTRIC	T&E	EXISTING ELECTRIC POLE	
	ı		

LEGEND

CURVE TABLE						
CURVE	RADIUS	ARC LENTGH	DELTA	CHORD BEARING	CHORD LENGTH	
C500	50.00'	78.54'	90°00'00"	N37°10'11"E	70.71	
C501	50.00'	76.11'	87°12'39"	N51°26'09"W	68.97'	
C502	50.00'	78.84	90°20'51"	S37°30'16"W	70.92'	
C503	24.00'	37.77'	90°09'40"	N52°44'59"W	33.99'	
C504	34.00'	53.41'	90°00'00"	S37°10'11"W	48.08'	
C505	34.00'	52.00'	87°37'22"	S51°38'25"E	47.08'	
C506	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'	
C507	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'	
C508	984.00'	14.65'	0°51'11"	N83°06'17"E	14.65'	
C509	34.00'	53.61'	90°20'51"	N37°30'16"E	48.23'	
C510	74.00'	116.24	90°00'00"	S37°10'11"W	104.65	
C511	74.00'	85.69'	66°20'42"	S48°59'50"W	80.98'	
C512	74.00'	30.55'	23°39'18"	S03°59'50"W	30.34	
C513	74.00'	112.64'	87°12'39"	S51°26'09"E	102.07	
C514	74.00'	20.53'	15°53'44"	S15°46'41"E	20.46	
C515	74.00'	92.11'	71°18'55"	S59°23'01"E	86.28'	
C516	1024.00'	40.76'	2°16'50"	N83°49'06"E	40.76	
C517	74.00'	116.69'	90°20'51"	N37°30'16"E	104.97	

THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES. WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS.

ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR

THE TOWNSHIP SOLICITOR.

JASON ENGELHARDT

PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

TIMOTHY J. SHERIDAN

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN

COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH

PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

SURVEYOR CERTIFICATION:

DETAILS ARE CORRECT.

ENGINEER'S CERTIFICATION:

LEHIGH VALLEY PLANNING COMMISSION: REVIEWED; BY LEHIGH VALLEY PLANNING COMMISSION.

RECORDING INFORMATION

RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL NO. _____, PAGE NO._____ ON ____, 20____.

OWNERS CERTIFICATE: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF ON THIS, THE _____ DAY OF _____, 20__, BEFORE ME, THE UNDERSIGNED OFFICER, PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND RICK KOZE SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL KAY WALBERT LLC; MANAGING MEMBER MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

____ MY COMMISSION EXPIRES: _____

(NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:

I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE KAY WALBERT LLC; MANAGING MEMBER

(MONTH DAY YEAR)

LEROY H. MARTIN PIN 548776185705 1 T.M. G8NE3, BLK. 2, LOT 7 DOC. ID 2013032017

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:

APPROVED ______ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

_____ (SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS: APPROVED ______ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP.

___ (TOWNSHIP ENGINEER)

PIN 548776271592 1 T.M. G8NE3, BLK. 4, LOT 1 D.B. 1469, PG. 1082 ACCESS EASEMENT -9,607 SF. / 0.221 AC. MICHAEL R. & NIOTALE 11. &
LINDA K. EBERLY
PIN 548776262796 1
T.M. G8NE3, BLK. 4, LOT 2
D.B. 1499, PG. 1030 R-2 LOW DENSITY RESIDENTIAL SIGHT DISTANCE 15 MPH AASHTO (INNOVATION OVERLAY DISTRICT) CITY OF ALLENTOWN 108 PIN 548766493444 1
T.M. G8, BLK. 10, LOT 8B
D.B. 1083, PG. 61 ZONING DISTRICT -BOUNDARY (TYP.) RONALD S. & ROSEMARY G. WASHBURN PIN 548776254818 1 T.M. G8NE3, BLK. 4, LOT 3 D.B. 1571, PG. 580 SIGHT DISTANCE √315 MPH AASHTO TW-68 7,413 SF. 0.170 AC. TND TW-67 4,860 SF. 0.112 AC. BUCHMAN STREET ZONING DISTRICT -BOUNDARY (TYP.) TND 10.00, TW-73
5,017 SF.
0.115 AC. TW-54 + 4,860 SF. 0.112 AC. KAREN L. PAUL PIN 548776246241 1 T.M. G8NE3, BLK. 10, LOT 1 D.B. 1570, PG. 1172 22,995 SF. 0.528 AC. TND 1 TW-44 1 4,999 SF. TND | TW-45 | TW-45 | TH 4,981 SF. N07.40,09.M TND TW-46 1 4,963 SF. TND TW-71 4,950 SF. 0.114 AC. KAY WALBERT LLC PIN 548746422139 1 T.M. G8, BLK. 10, LOT 8 DOC. ID 7095060 TRACT A 111.8177 ACRES (GROSS) 70, TND YARD ST 19, 19, 14,945 SF, 10,114 AC. ST — CENTER LINE 40, TND 79, TW-49 E 4,979 SF TW-48 AR 4,927 SF. TND TW-50 5,021 SF. 729 TND 729 TW-51 74,864 SF 70.112 AC LOT N 305,795 SF. 7.020 AC. TND TW-52 6,009 SF 0.138 AC LOT V_/ 5,061 SF. 0.116 AC. 4,964 SF. 0.114 AC 582'10'11"W 103.21' DAVID & BETH ANN ERNEY PIN 548776228827 1 T.M. G8NE3, BLK. 10, LOT 2 D.B. 1326, PG. 48 N84°57'31"E 94.85 S66°16'27"W_\\
TND 10.00'
TW-69
6,865 SF.
0.158 AC. R-4 MEDIUM DENSITY RESIDENTIAL N84°57'31"E 685.97' KENESETH ISRAEL CEMETERY ASSOCIATION PIN 548766819241 1 T.M. G8, BLK. 10, LOT 4 D.B. 467, PG. 2 STONEMOOR PENNSYLVANIA, LLC PIN 548755972371 1 T.M. G8, BLK. 10, LOT 7 DOC. ID 7308941 PIN 548776219542 1 T.M. G8NE3, BLK. 16, LOT 1 DOC. ID 2011025261

NOTES:

SEE SHEET CB-100 FOR SUBDIVISION NOTES.

SEE SHEET CB-110 FOR CURVE DATA TABLE.

7-15-21 REVISED PER TOWNSHIP COMMENTS 5-19-21 REVISED PER TOWNSHIP COMMENTS 1 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS REVISIONS

Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.(Langan Engineering and Environmental Services, Inc.

LANGAN T: 610.984.8500 F: 610.984.8501 www.langan.com ngan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S

Langan CT, Inc.

Langan International LLC

Collectively known as Langan

RIDGE FARMS

PENNSYLVANIA

SOUTH WHITEHALL TOWNSHIP

LEHIGH COUNTY

SUBDIVISION PLAN (RECORD PLAN)

240043301

Filename: c:\bms\langan-pw-01\dms42624\240043301-CB101-0101.DWG Date: 9/23/2021 Time: 14:53 User: dmoyer Style Table: Langan.stb Layout: CB-110

CB-110

Drawn By Checked By |

JDM Submission Date

OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICK KOZE 5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106

610-395-6857