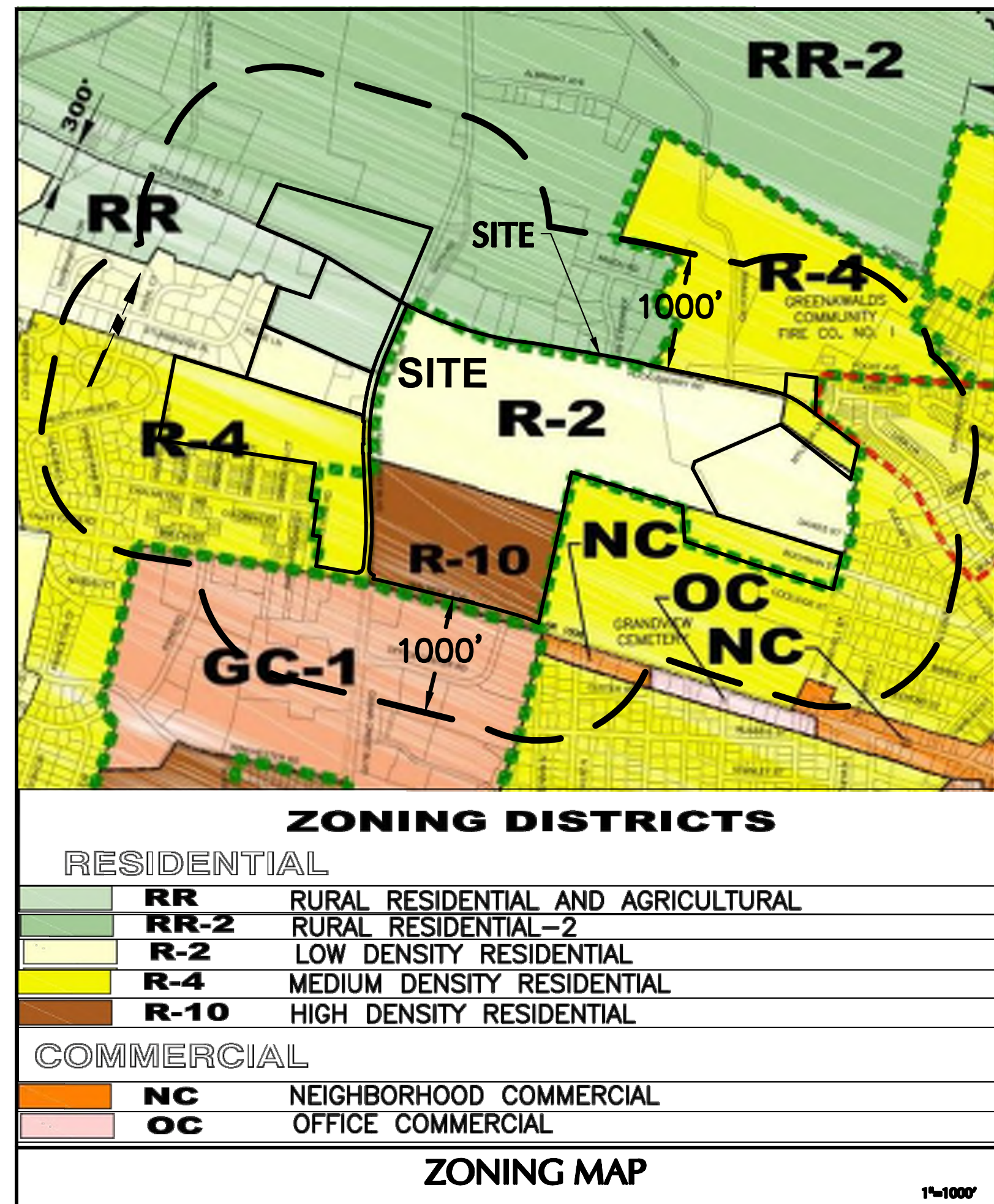


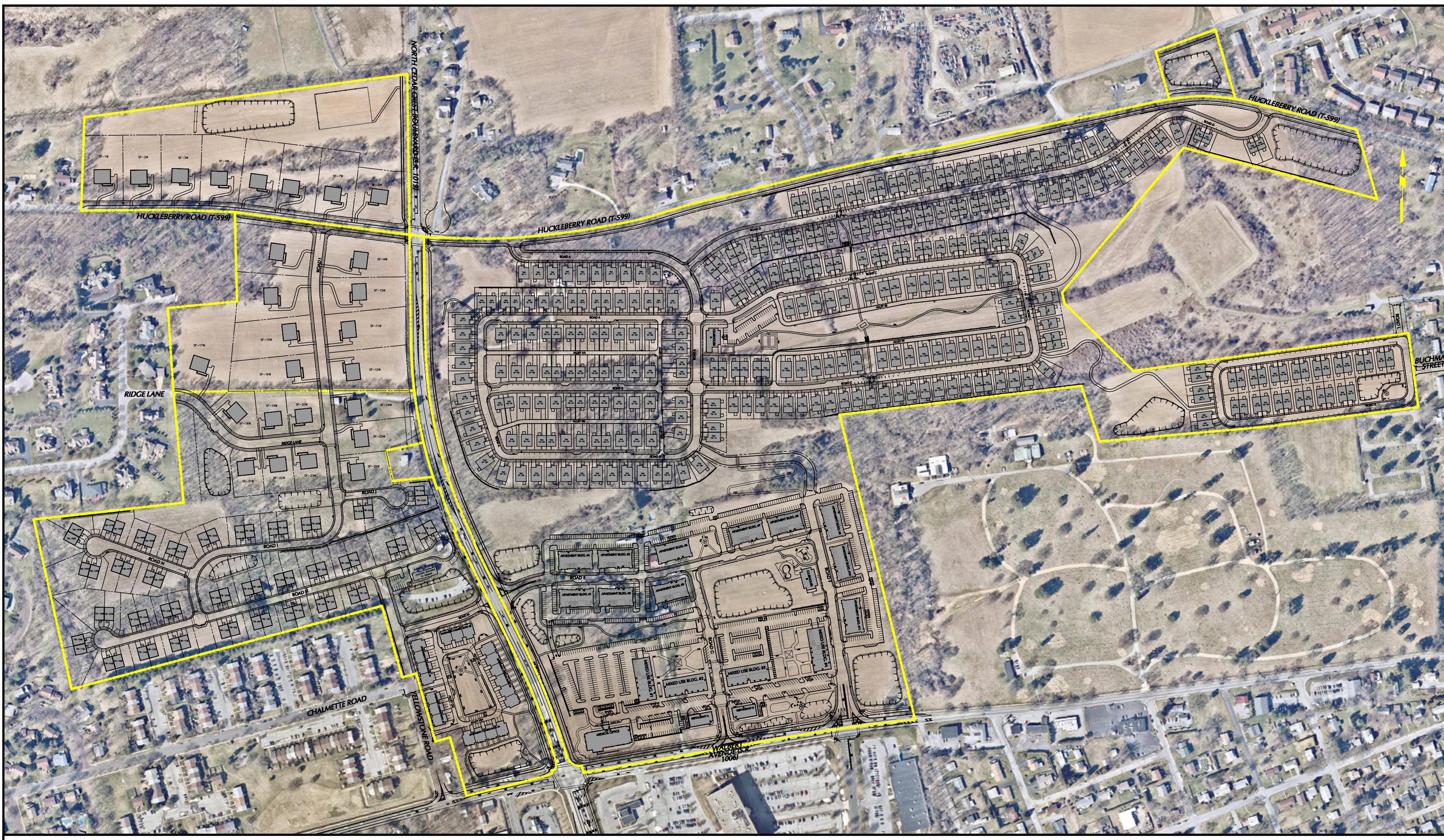
RIDGE FARMS

SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLANS



REFERENCE: SOUTH WHITEHALL TOWNSHIP (DATE: 2014-08)



REFERENCE: IMAGERY PROVIDED BY NEARMAPS DATED MARCH 2017.

PAGE NO.	DRAWING No.	DRAWING TITLE	DRAWING SCALE	DATE
1 OF 151	GI-001	COVER SHEET (RECORD PLAN)	AS SHOWN	9/23/2021
2 OF 151	GI-002	AERIAL MAP	1" = 200'	9/23/2021
3 OF 151	GI-003	PROJECT CALCULATION SUMMARY PLAN (RECORD PLAN)	N.T.S.	9/23/2021
4 OF 151	VI-100	MASTER EXISTING FEATURES PLAN	1" = 200'	9/23/2021
5-14 OF 151	VI-101 to VI-110	EXISTING FEATURES PLANS	1" = 50'	9/23/2021
15-16 OF 151	CB-001 to CB-002	LOT CONSOLIDATION PLAN (RECORD PLAN)	1" = 150'	9/23/2021
17 OF 151	CB-100	MASTER SUBDIVISION PLAN (RECORD PLAN)	1" = 150'	9/23/2021
18-27 OF 151	CB-101 to CB-110	SUBDIVISION PLANS (RECORD PLAN)	1" = 50'	9/23/2021
28 OF 151	CS-100	MASTER SITE PLAN (RECORD PLAN)	1" = 150'	9/23/2021
29-38 OF 151	CS-101 to CS-110	SITE PLANS	1" = 50'	9/23/2021
39 OF 151	CS-200	PHASING PLAN	1" = 150'	9/23/2021
40 OF 151	CS-201	PAVEMENT PLAN	1" = 150'	9/23/2021
41 OF 151	CS-202	PEDESTRIAN CIRCULATION PLAN	1" = 150'	9/23/2021
42 OF 151	CS-203	TND OPEN SPACE PLAN	1" = 150'	9/23/2021
43 OF 151	CS-204	NON-TND OPEN SPACE PLAN	1" = 150'	9/23/2021
44 OF 151	CS-205	TND FRONTAGE STREETSCAPE PLAN	AS SHOWN	7/15/2021
45-54 OF 151	CS-301 to CS-310	FIRE TRUCK TURN PLANS	1" = 50'	9/23/2021
55 OF 151	CS-311	LOADING TRUCK TURN PLAN	1" = 50'	9/23/2021
56 OF 151	CS-312	GARBAGE TRUCK TURN PLAN	1" = 50'	9/23/2021
57 OF 151	CS-313	WB-50 TRUCK TURN PLAN	1" = 50'	9/23/2021
58-69 OF 151	CS-501 to CS-502	SITE DETAILS	N.T.S.	9/23/2021
60 OF 151	CG-100	MASTER GRADING AND DRAINAGE PLAN	1" = 150'	9/23/2021
61-70 OF 151	CG-101 to CG-110	GRADING PLANS	1" = 50'	9/23/2021
71 OF 151	CG-111	BUILDING ELEVATION TABLES	N.T.S.	9/23/2021
72 OF 151	CG-200	MASTER DRAINAGE PLAN	1" = 150'	9/23/2021
73-82 OF 151	CG-201 to CG-210	DRAINAGE PLANS	1" = 50'	9/23/2021
83 OF 151	CG-400	MASTER POST CONSTRUCTION STORMWATER MANAGEMENT PLAN (RECORD PLAN)	1" = 150'	9/23/2021
84-85 OF 151	CG-501 to CG-502	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	N.T.S.	9/23/2021
86 OF 151	CU-100	MASTER UTILITY PLAN	1" = 150'	9/23/2021
87-96 OF 151	CU-101 to CU-110	UTILITY PLANS	1" = 50'	9/23/2021
97-117 OF 151	CU-301 to CU-321	ROADWAY & UTILITY PROFILES	AS SHOWN	9/23/2021
118-122 OF 151	CG-301 to CG-304	ROADWAY STORM PIPE CROSSING PROFILES	AS SHOWN	9/23/2021
123-124 OF 151	CG-601 to CG-602	SANITARY PROFILES	AS SHOWN	9/23/2021
125-127 OF 151	CU-501 to CU-503	UTILITY DETAILS	N.T.S.	9/23/2021
128 OF 151	LP-100	MASTER LANDSCAPE PLAN	1" = 150'	9/23/2021
129-138 OF 151	LP-101 to LP-110	LANDSCAPE PLANS	1" = 15'	9/23/2021
139 OF 151	LP-501	LANDSCAPE NOTES AND DETAILS	N.T.S.	9/23/2021
140 OF 151	LL-100	MASTER LIGHTING PLAN	1" = 150'	9/23/2021
141-150 OF 151	LL-101 to LL-110	LIGHTING PLANS	1" = 50'	9/23/2021
151 OF 151	LL-501	LIGHTING NOTES AND DETAILS	N.T.S.	9/23/2021

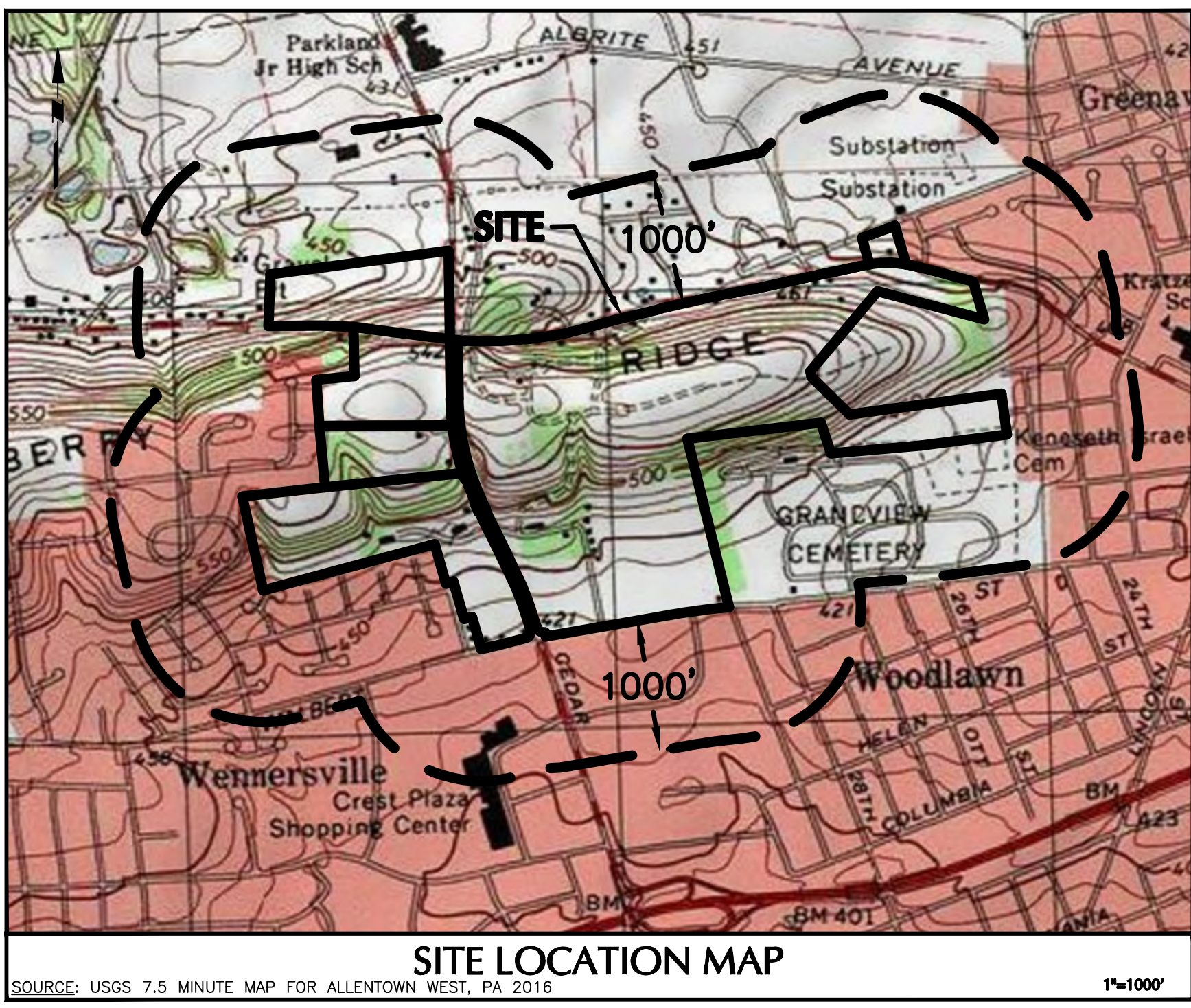
ACT 287 AS AMENDED

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 287 AS AMENDED AND TO CONTRACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.

PENNSYLVANIA ONE CALL 1-800-242-1776
SERIAL NO RIDGE FARMS: 3000X

CALL BEFORE YOU DIG IN PA. TOLL FREE 1-800-242-1776

FOR FREE MARKETS TO LOCATE UNDERGROUND UTILITIES
IT'S THE LAW



GENERAL SITE NOTES:

- The Contractor shall furnish, install, test and complete all work to the satisfaction of the Engineer and Owner in accordance with the Contract Documents. The Contractor is solely responsible for means and methods of construction as such, these plans do not completely represent, nor are they intended to represent, all specific instructions required for sitework construction. The Contractor is responsible to construct all improvements depicted on these plans in accordance with all applicable rules, regulations and laws in effect at the time of construction.
- The Contractor shall accept the site as is. The Contractor shall assess conditions, and the kind, quality and quantity of work required. The Owner and Engineer make no guarantee in regard to the accuracy of any information that was obtained during investigations. The Contractor shall make a thorough site inspection in order to field check existing site conditions; correlate conditions with the drawings; and, resolve any possible construction conflicts with the Owner and Engineer prior to commencement of work. The Contractor shall perform additional topographic surveys he/she deems necessary, provided they are coordinated with the Owner. Any conditions determined by the Contractor that differ from the information shown on the drawings that are not brought to the attention of the Owner and Engineer prior to the start of work shall not be considered grounds for additional payment or changes to the contract duration, or any other claims against the Owner or Owner's Engineer.
- The Contractor shall, when he/she deems necessary, provide a written Request for Information (RFI) to the Owner and/or Owner's designated representative, and Engineer prior to the construction of any specific sitework item. The RFI shall be in a form acceptable to Owner and/or Owner's designated representative, and Engineer and shall allow for a minimum of three working days for a written reply. RFIs shall be numbered consecutively by date submitted. The Contractor shall be solely responsible for sitework items constructed differently than intended or as depicted on the plans.
- Information related to elevations and proposed utilities (such as roadway grades, invert elevations, rim elevations, grate elevations, building finished floor elevations, etc.) may be found in more than one location in the Contract Documents. The Contractor shall sufficiently review all plans, profiles and any other information in the Contract Documents for consistency prior to bid. Any inconsistencies or discrepancies that are found by the Contractor or his agents shall be immediately brought to the attention of the Owner and Engineer in writing, in the form of an RFI prior to bid.
- There are additional notes, specifications and requirements contained throughout the plan set as well as references to specifications from applicable governing authorities and industry standards. It is the Contractor's responsibility to obtain, review and adhere to all these documents.
- Contractor is specifically cautioned that all construction staked out for this project must be completed from the site specific survey control (horizontal and vertical) upon which the design is based. The contractor should not rely on or re-establish survey control by GPS or other methods for use in construction staked out or any other purpose for this project. Any discrepancies between the existing horizontal or vertical data shown on these drawings and that encountered in the field must be reported to the design team prior to construction for resolution.

OWNER/APPLICANT
KAY WALBERT LLC.
ATTN: RICK KOZE
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857

SURVEYOR
BARRY ISETT & ASSOCIATES INC.
85 PA-100
ALLENTOWN, PA 18106
CONTACT TIMOTHY SHERIDAN
PHONE 610-398-0904

CIVIL ENGINEER
LANGAN
ENGINEERING & ENVIRONMENTAL SERVICES

One West Broad Street, Suite 200
Bethlehem, PA. 18018
P: 610.984.8500 F: 610.984.8501
www.langan.com

CONTACT JASON ENGELHARDT
PHONE 610-984-8500
EMAIL jengelhardt@langan.com

CONTACTS

TOWNSHIP BUILDING:
SOUTH WHITEHALL TOWNSHIP
4444 WALBERT AVENUE,
ALLENTOWN, PA 18104
610-389-0401

GAS:
UGI UTILITIES
2525 N. 12th STREET, SUITE 360
READING, PA 19605
CONTACT: CARMELO ALICEA
717-234-5951

WATER AND SANITARY SEWER:
SOUTH WHITEHALL TOWNSHIP
PUBLIC WORKS DEPARTMENT
4444 WALBERT AVENUE,
ALLENTOWN, PA 18104
CONTACT: GREGG ADAMS
610-389-0407

ELECTRIC:
PPL ELECTRIC UTILITIES
827 HAUSMAN ROAD
ALLENTOWN, PA 18104
CONTACT: JANET DRAGON
610-774-3151

TELEPHONE:
VERIZON PENNSYLVANIA, INC.
3151 PIONEER AVE,
PITTSBURGH, PA 15226
CONTACT: JAMES SZEZWYK

CABLE:
RCN
2124 AVENUE C
BETHLEHEM, PA 18017
1-800-746-4726

SURVEYOR CERTIFICATION:
I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

ENGINEER'S CERTIFICATION:
I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

APPROVED BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

APPROVED BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

LEHIGH VALLEY PLANNING COMMISSION:
REVIEWED:
BY LEHIGH VALLEY PLANNING COMMISSION.

RECORDING INFORMATION:
RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. _____ PAGE NO. _____ ON _____ 20____

OWNER'S CERTIFICATE:
ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:

RICK KOZE
KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.
WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____
(NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAD OFF, PLATED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE, SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE
KAY WALBERT LLC, MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

(CHAIRMAN)

(SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

(CHAIRMAN)

(SECRETARY)

(TOWNSHIP ENGINEER)

Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

APPLICANT _____

REVISIONS

LANGAN
ENGINEERING & ENVIRONMENTAL SERVICES

One West Broad Street, Suite 200, Bethlehem, PA 18018
P: 610.984.8500 F: 610.984.8501 www.langan.com

Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
Langan Engineering and Environmental Services, Inc.
Langan International LLC
Collectively known as Langan

SIGNATURE: JASON ENGELHARDT DATE SIGNED: _____
PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

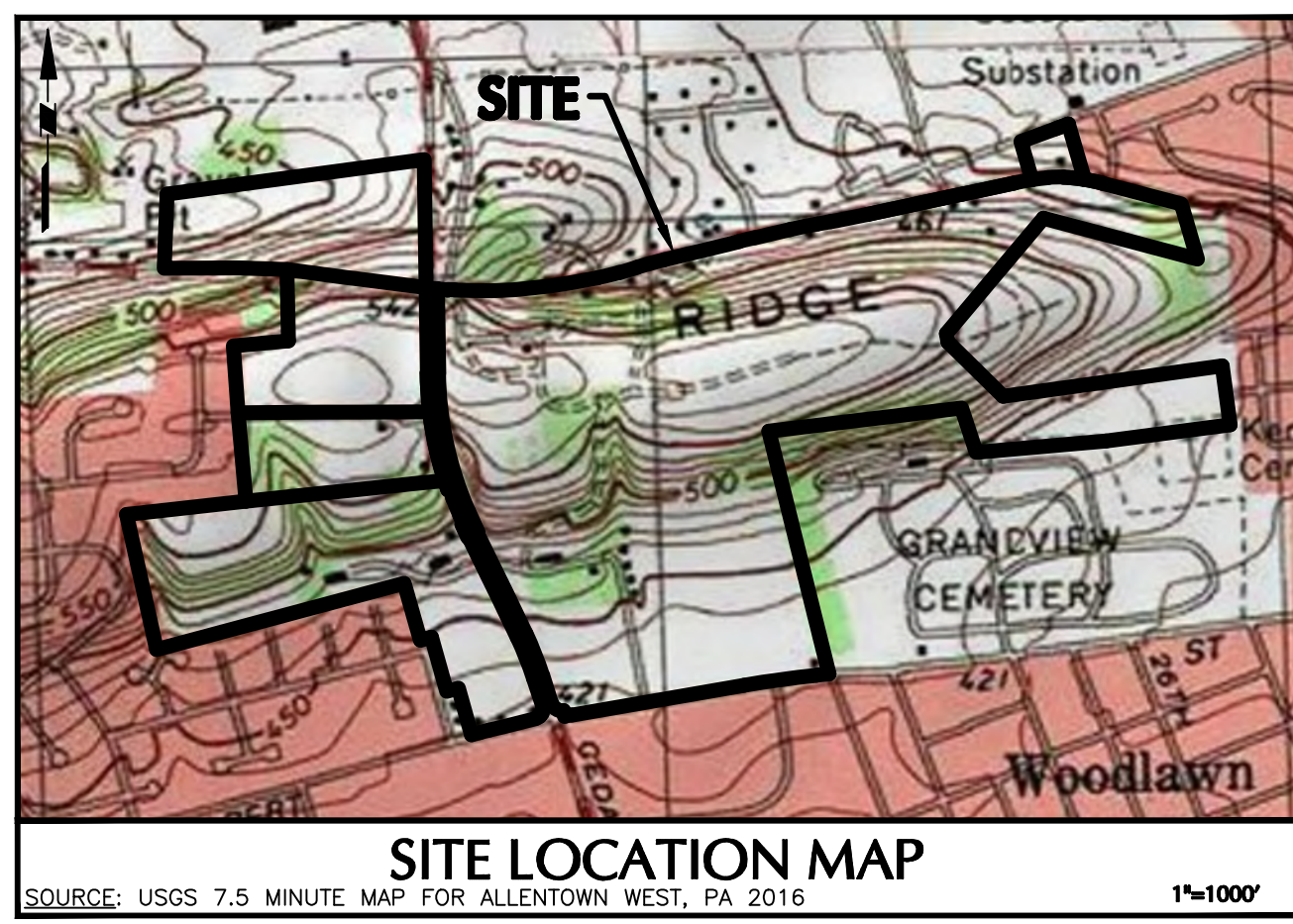
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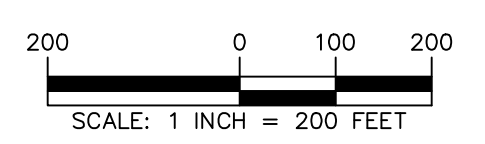
Project	RIDGE FARMS	Drawing Title	COVER SHEET (RECORD PLAN)	Project No.	240043301	Drawing No.	GI-001
Date	10/06/2020	Scale	AS SHOWN	Drawn By	JDM	Checked By	
Submission Date							Sheet 1 of 151

File name: c:\dms\langan-pw-01\dms42624\240043301-GI001-0101.DWG Date: 9/23/2021 Time: 11:45 User: dmoyer Style Table: --- Layout: GI-001



LEGEND	
PROPERTY BOUNDARY	
400' FROM SITE	
MAJOR CONTOUR	
MINOR CONTOUR	

- NOTES**
1. AERIAL IMAGERY WAS SOURCED FROM NEARMAPS, DATED 02/24/2020.
 2. REFER TO SHEETS VT-100 THROUGH VT-100 FOR ADDITIONAL SURVEY DETAIL WITHIN THE SITE BOUNDARY.
 3. A PORTION OF EXISTING CONTOURS SHOWN OUTSIDE THE PROPERTY BOUNDARY WERE GENERATED USING LIDAR INFORMATION, JUNE 2019.
 4. PLAN IS FOR REFERENCE ONLY, NOT FOR CONSTRUCTION OR RECORDING.



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
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05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.
REVISIONS		

SIGNATURE: JOSEPH E. RICHARD DATE SIGNED: _____
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

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 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **AERIAL MAP**

Project No.	240043301	Drawing No.	GI-002
Date	10/06/2020	Scale	1" = 200'
Drawn By	DJM	Checked By	
Submission Date			

Sheet 2 of 151

TND DENSITY CREDIT SUMMARY

TND - RESIDENTIAL CLUSTER OVERLAY DISTRICT DEVELOPMENT INTENSITY CREDIT CALCULATION. Table with columns: ITEM, AREA (SQ. FT.), AREA (ACRES), CREDITS. Includes sections for OPEN SPACE, ALLEY ACCESS, and PUBLIC BUS SHELTER.

TND ZONING REQUIREMENTS

TND - RESIDENTIAL CLUSTER DEVELOPMENT AREA AND BULK REGULATIONS AND DESIGN STANDARDS TABLE. Table with columns: ITEM, REQUIRED / PERMITTED, PROPOSED. Includes Residential Uses, Non-Residential Uses, and specific regulations for dwelling types.

TND OPEN SPACE SUMMARY

REQUIRED OPEN SPACE CALCULATIONS and PROVIDED OPEN SPACE CALCULATIONS. Tables showing Area Designation, Area in Sq. Ft., Area in Acres, and Required / Permitted Percentages.

APARTMENT BUILDING - #1 AREA EAST DENSITY INCREASE CREDIT CALCULATION. Table with columns: ITEM, AREA (SQ. FT.), AREA (ACRES), CREDITS. Includes sections for OPEN SPACE, CARPORTS, ASSIGNED GARAGES, and CLUB HOUSE.

RESIDENTIAL CLUSTER DEVELOPMENT OPTIONS TABLE. Table with columns: ITEM, REQUIRED / PERMITTED, PROPOSED. Includes Minimum Tract Size, Increase in Development Intensity, and Minimum % of the Tract to be Open Space.

OPEN SPACE table with columns: AREA DESIGNATION, AREA IN SQ. FT., AREA IN ACRES, AMENITY, OWNER. Lists various amenity types like Trails, Rain Garden, and Benches.

ACTIVE OPEN SPACE table with columns: AREA DESIGNATION, AREA IN SQ. FT., AREA IN ACRES, AMENITY, OWNER. Lists active open space types like Clubhouse, Pavilion, and Gazebo.

TND PARKING SUMMARY

TND RESIDENTIAL PARKING CALCULATIONS and TND CLUBHOUSE PARKING CALCULATIONS. Tables showing Building Type, Dwelling Units, Parking Requirement, Required Spaces, and Proposed Spaces.

APARTMENT BUILDING - #2 AREA WEST DENSITY INCREASE CREDIT CALCULATION. Table with columns: ITEM, AREA (SQ. FT.), AREA (ACRES), CREDITS. Includes sections for ASSIGNED GARAGES and CLUB HOUSE.

NON - TND TABLES

RR-2 RURAL RESIDENTIAL-2 LOT AVERAGING DEVELOPMENT OPTION, RR RURAL RESIDENTIAL AND AGRICULTURAL, R-2 RURAL LOW DENSITY RESIDENTIAL, and R-4 MEDIUM DENSITY RESIDENTIAL. Multiple tables with columns: ITEM, REQUIRED / PERMITTED, PROPOSED.

TND HOUSING SUMMARY

TND NON-RESIDENTIAL PARKING CALCULATIONS and MIXED USE VILLAGE COMMERCIAL AREA IMPERVIOUS CALCULATIONS. Tables showing Land Use, Number of Units / Sq. Ft., and Impervious Area.

NON - TND OPEN SPACE SUMMARY

NON-TND REQUIRED OPEN SPACE CALCULATION and NON-TND OPEN SPACE table. Tables showing Area Designation, Number of Proposed Dwelling Units, and Area Breakdown.

SURVEYOR CERTIFICATION and OWNERS CERTIFICATE. Text blocks for professional certification and owner acknowledgment.

ENGINEER'S CERTIFICATION and OWNER/APPLICANT. Text blocks for engineering certification and applicant information.

RECORDING INFORMATION and REVISIONS. Text blocks for recording details and a list of revisions.

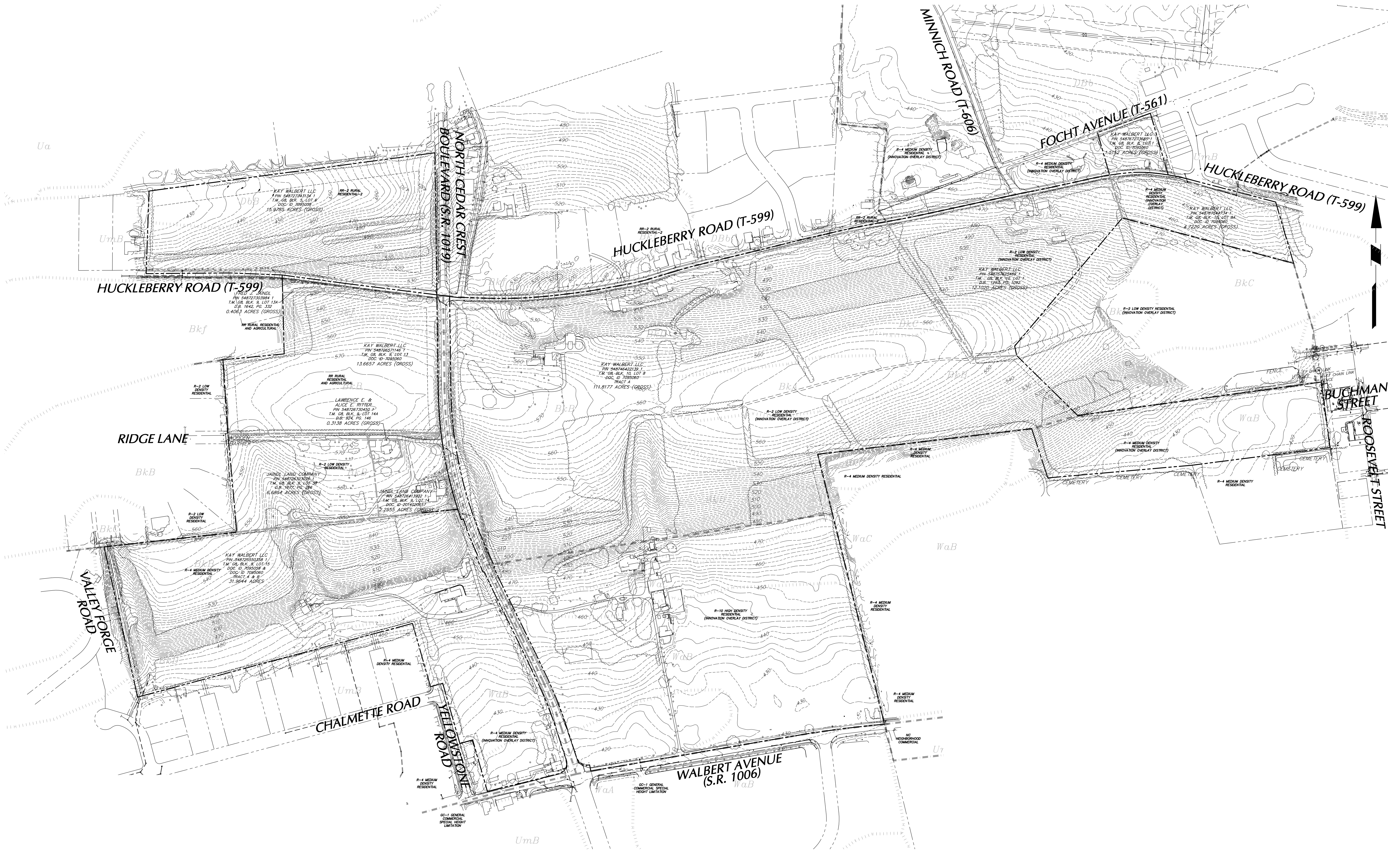
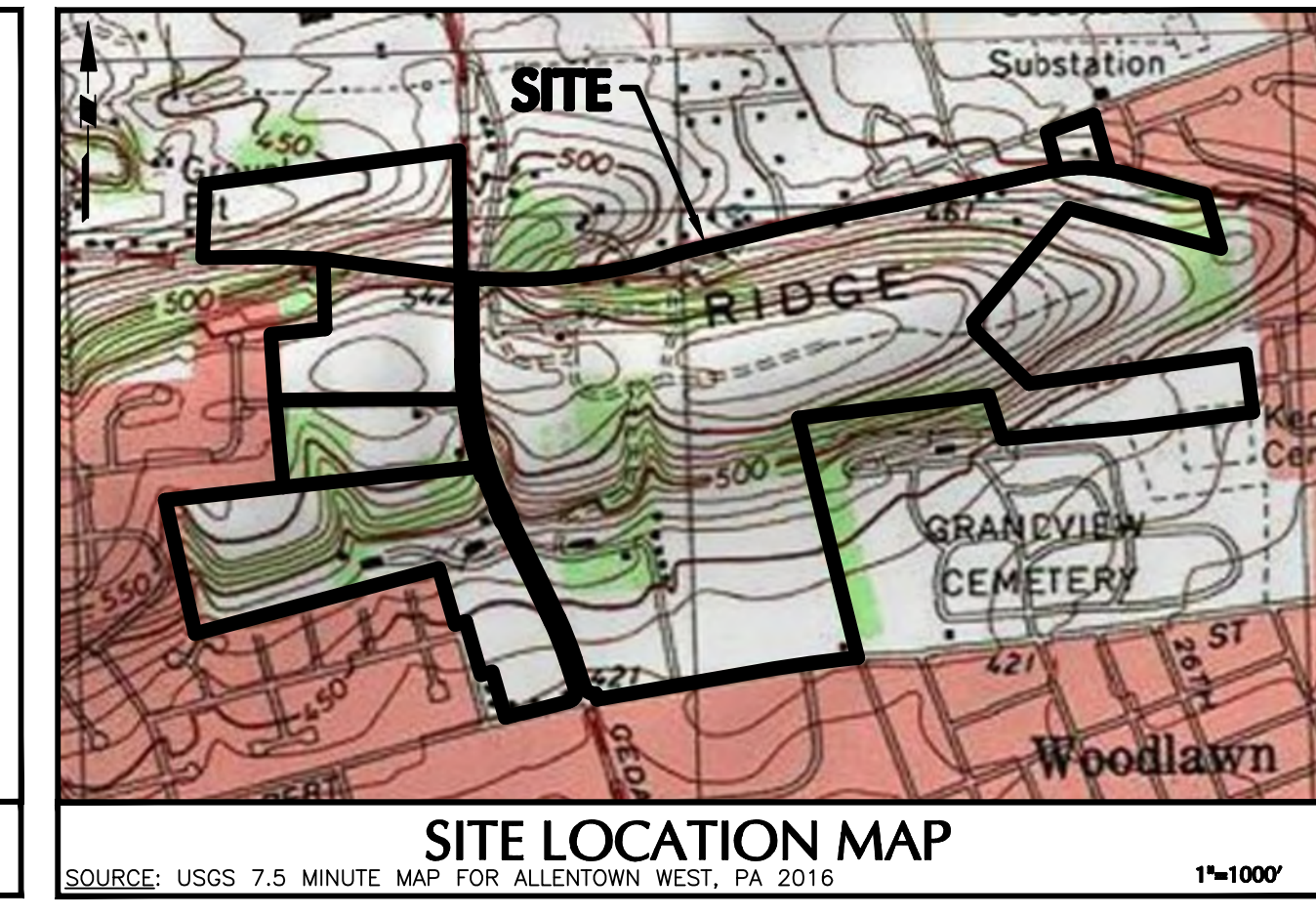
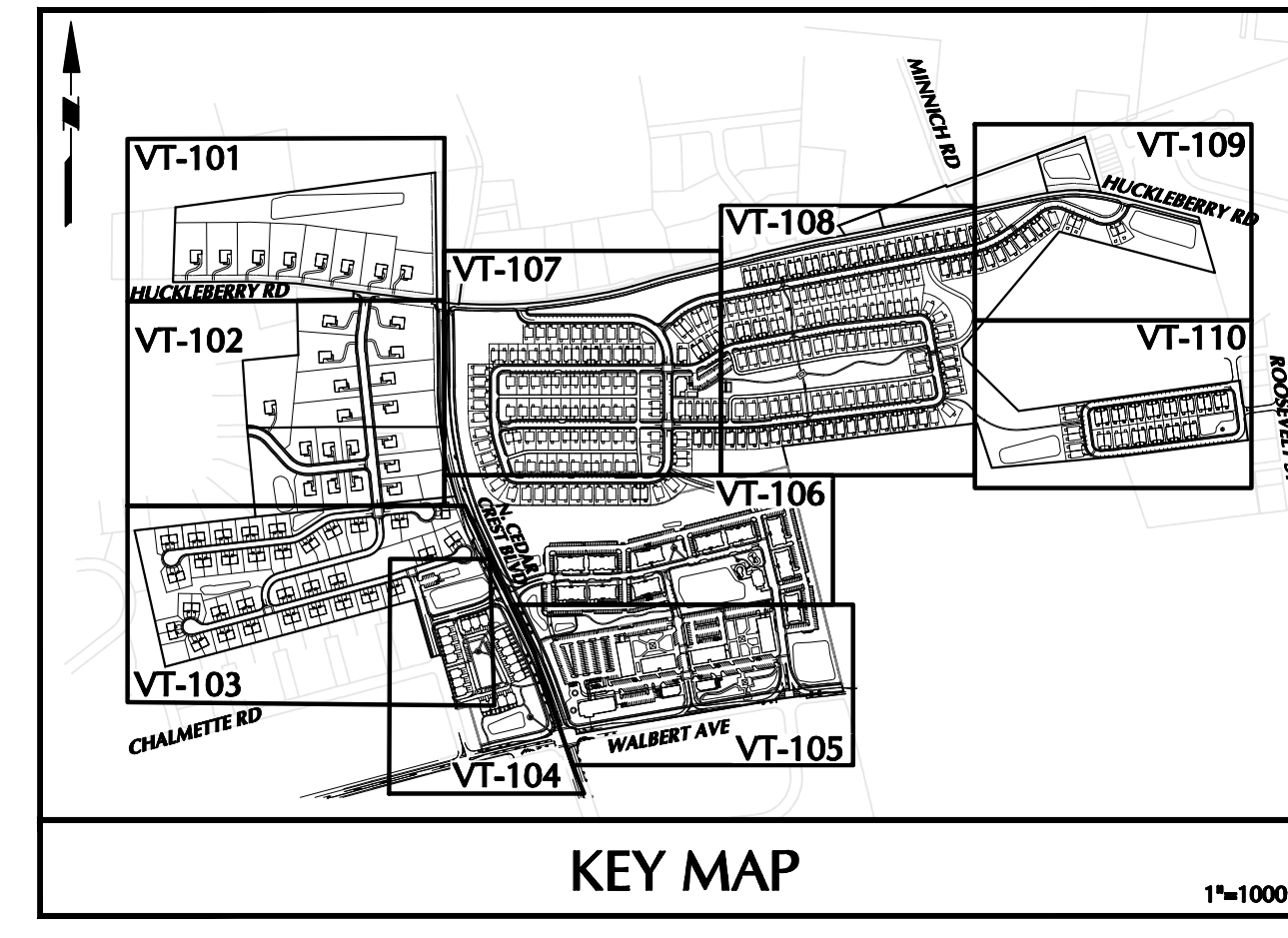
PROJECT CALCULATION SUMMARY PLAN (RECORD PLAN). Includes project title, date (10/06/2020), scale (N.T.S.), and drawing number (GI-003).

LANGAN logo and contact information. Includes address (One West Broad Street, Suite 200, Bethlehem, PA 18018) and phone number (610-864-8900).

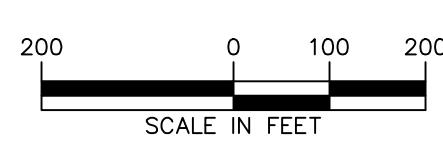
PROJECT NO. 240043301 SUBMISSION DATE: SEPTEMBER 23, 2021

- NOTES:
- THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON PLANS ENTITLED "RIDGE FARMS CORPORATION/RIDGE FARMS PARTNERSHIP, SOUTH WHITEHALL TOWNSHIP, LEHIGH COUNTY, PA," BY BARRY ISETT & ASSOCIATES, INC., DRAWING NUMBERS MSU-1 THROUGH SU-48, DATED 9/29/15, LAST REVISED 4/21/16.
 - CONTOUR ELEVATION DATUM IS NAVD88.
 - PROPERTY LINE BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE GRID SOUTH ZONE.
 - THE PROPERTY DESCRIBED ON THIS PLAN IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD, AS NOTED ON THE JULY 16, 2004 FEMA FIRM MAPPING.

SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DIC	Duffield silt loam, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B



LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD ELECTRIC	[Symbol]
WATER MAIN & VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
WELL	[Symbol]
GAS MAIN & VALVE	[Symbol]
SANITARY LINE, MANHOLE, & CLEANOUT	[Symbol]
STORM LINE, MANHOLE, & INLET	[Symbol]
CHAIN-LINK FENCE	[Symbol]
POST/SPLIT RAIL FENCE	[Symbol]
WOOD FENCE	[Symbol]
SIGN	[Symbol]
DECIDUOUS TREE	[Symbol]
EVERGREEN TREE	[Symbol]
TREE ROW	[Symbol]
CONTOUR	[Symbol]
SPOT ELEVATION	[Symbol]
WETLANDS	[Symbol]
EDGE OF PAVEMENT	[Symbol]
BITUMINOUS	[Symbol]
TYPICAL	[Symbol]
FINISH FLOOR	[Symbol]
DOOR SILL	[Symbol]
EXISTING SOIL GROUP	[Symbol]
EXISTING SOIL GROUP NAME	[Symbol]
ZONING DISTRICT BOUNDARY	[Symbol]



OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
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01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

SIGNATURE: [Signature]
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

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 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
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 Langan Engineering and Environmental Services, Inc.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY

Drawing Title: **MASTER EXISTING FEATURES PLAN**

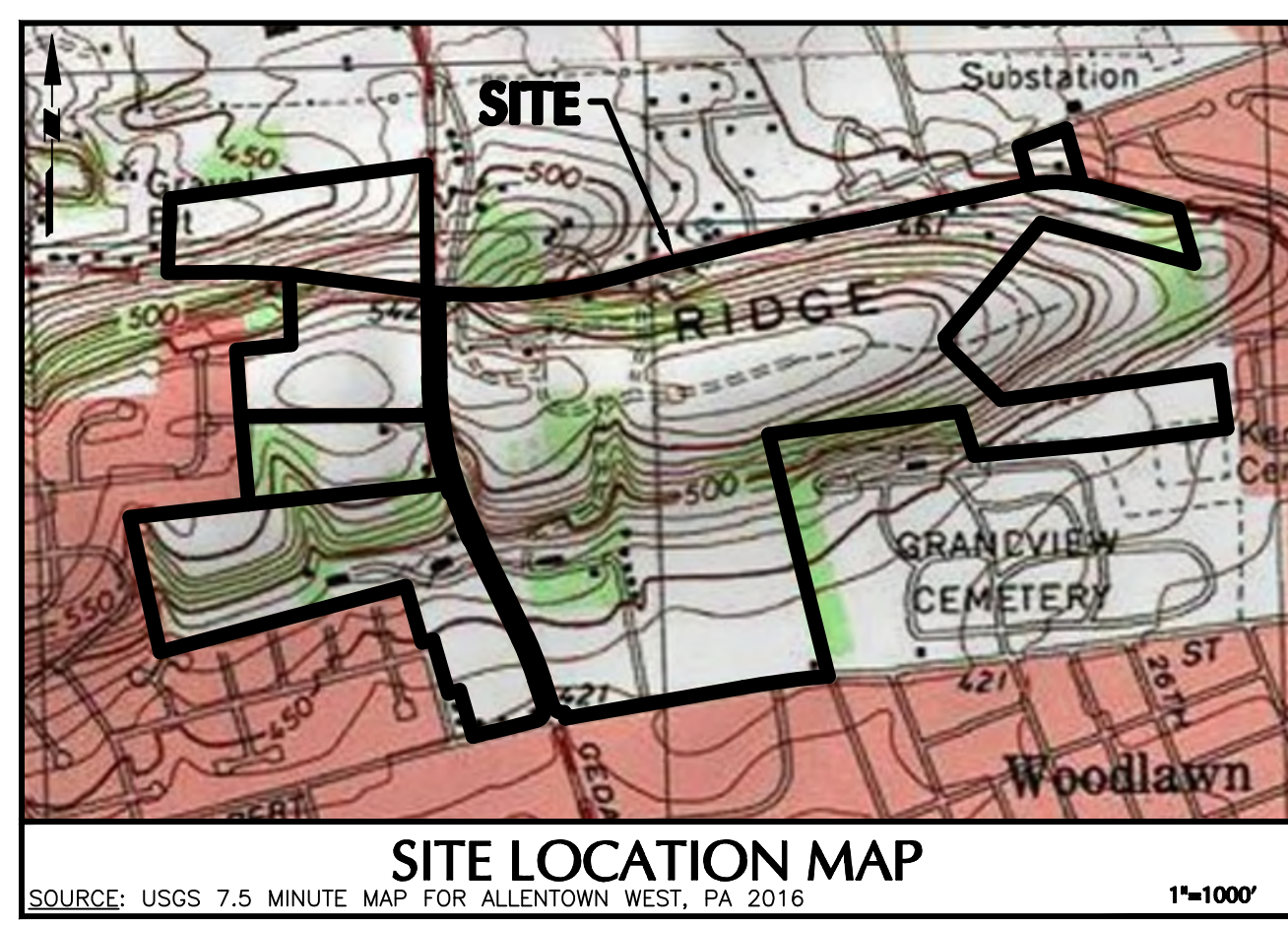
Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 200'**
 Drawn By: **JDM**
 Checked By: [Blank]
 Submission Date: [Blank]

Drawing No. **VT-100**
 Sheet 4 of 151

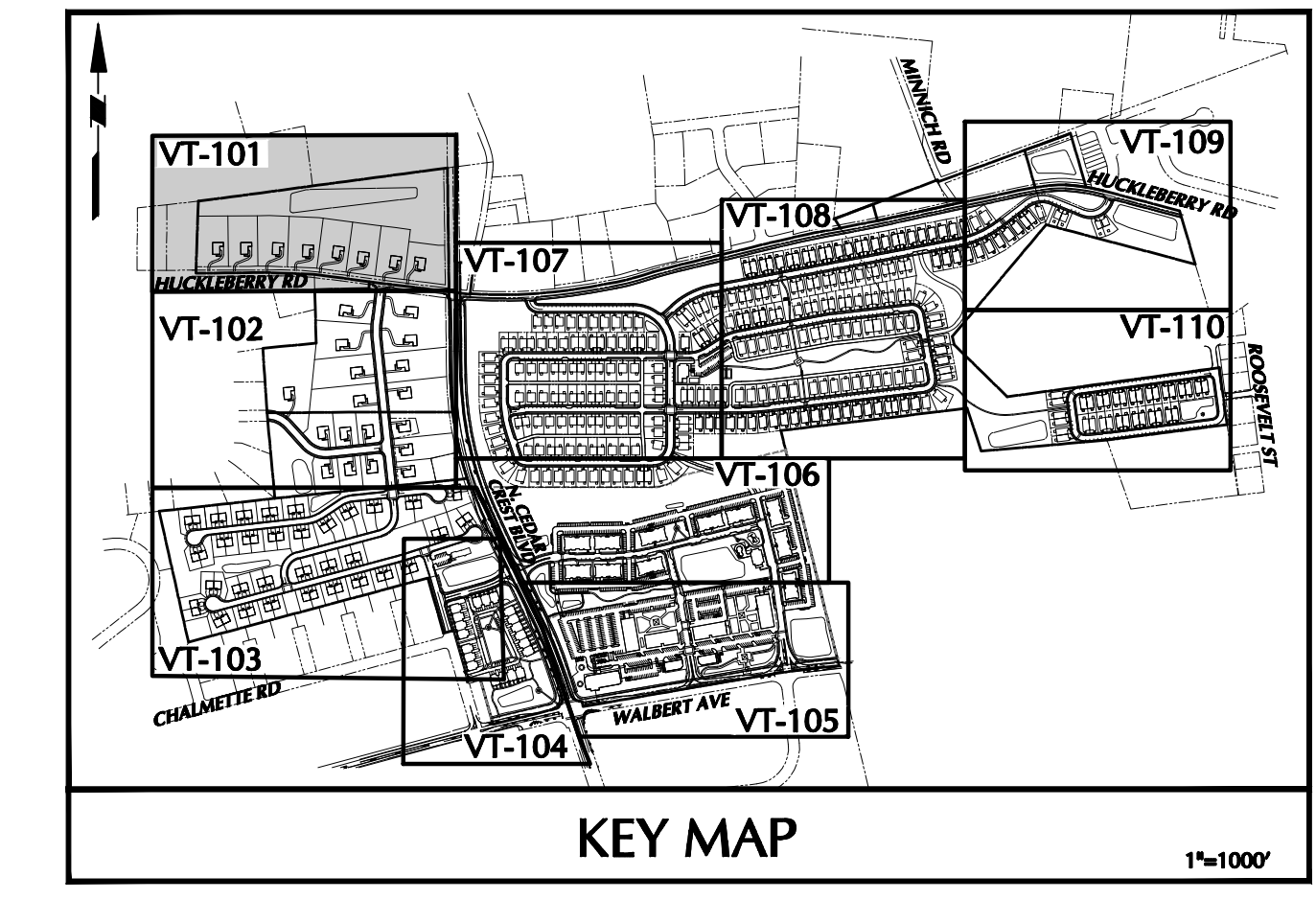
PROJECT NO. 240043301

SUBMISSION DATE: SEPTEMBER 23, 2021

LANGAN



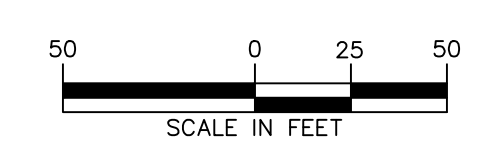
SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DfC	Duffield-Hyder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WlaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B



MATCHLINE SEE SHEET VT-102

LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD ELECTRIC	[Symbol]
WATER MAIN & VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
WELL	[Symbol]
GAS MAIN & VALVE	[Symbol]
SANITARY LINE, MANHOLE, & CLEANOUT	[Symbol]
STORM LINE, MANHOLE, & INLET	[Symbol]
CHAIN-LINK FENCE	[Symbol]
POST/SPLIT RAIL FENCE	[Symbol]
WOOD FENCE	[Symbol]
SIGN	[Symbol]
DECIDUOUS TREE	[Symbol]
EVERGREEN TREE	[Symbol]
TREE ROW	[Symbol]
CONTOUR	[Symbol]
SPOT ELEVATION	[Symbol]
WETLANDS	[Symbol]
EDGE OF PAVEMENT	[Symbol]
BITUMINOUS	[Symbol]
TYPICAL	[Symbol]
FINISH FLOOR	[Symbol]
DOOR SILL	[Symbol]
EXISTING SOIL GROUP	[Symbol]
EXISTING SOIL GROUP NAME	RhC
ZONING DISTRICT BOUNDARY	[Symbol]

OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

SIGNATURE: JACOB REINHARDT
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E
 DATE SIGNED: [Blank]

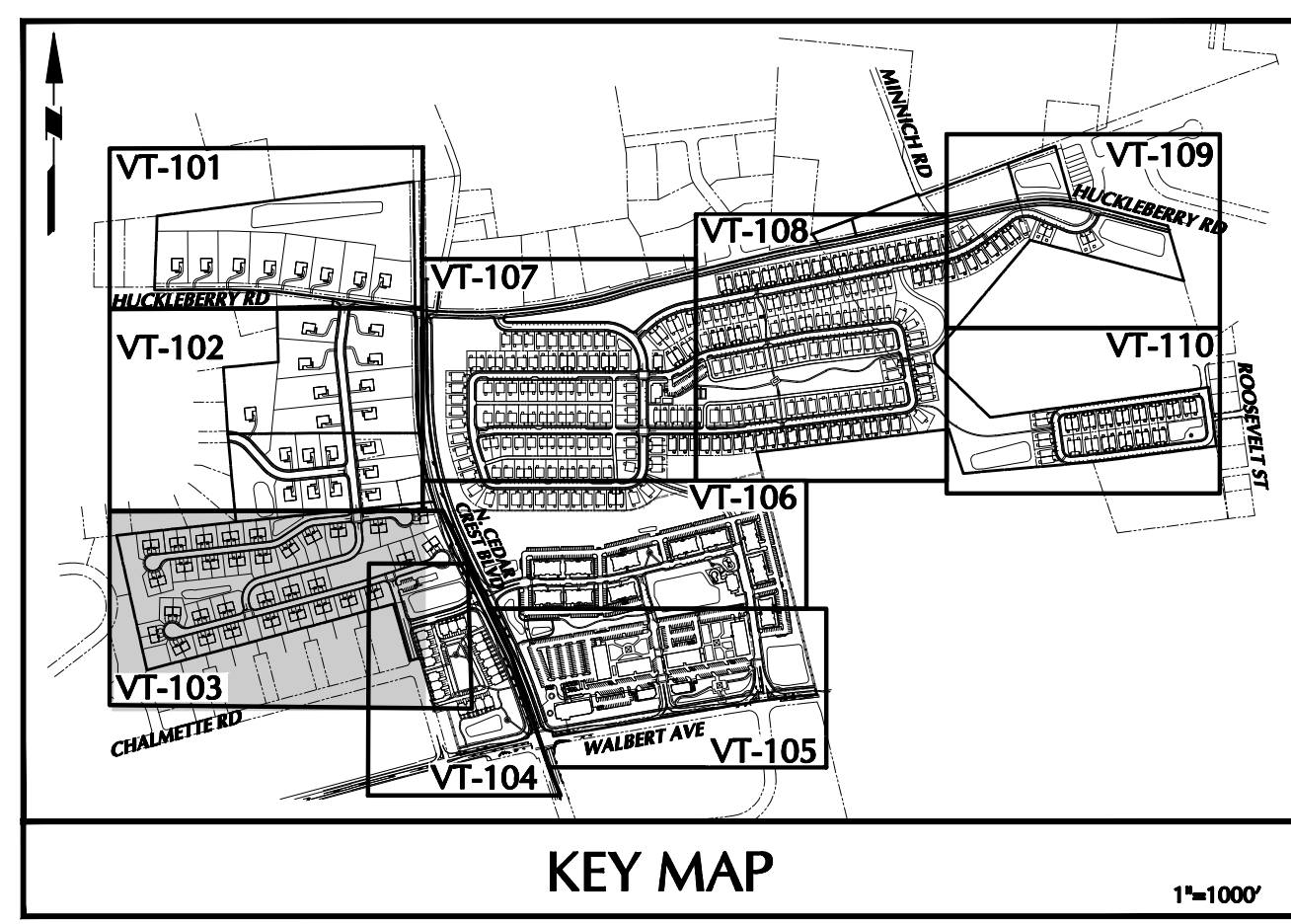
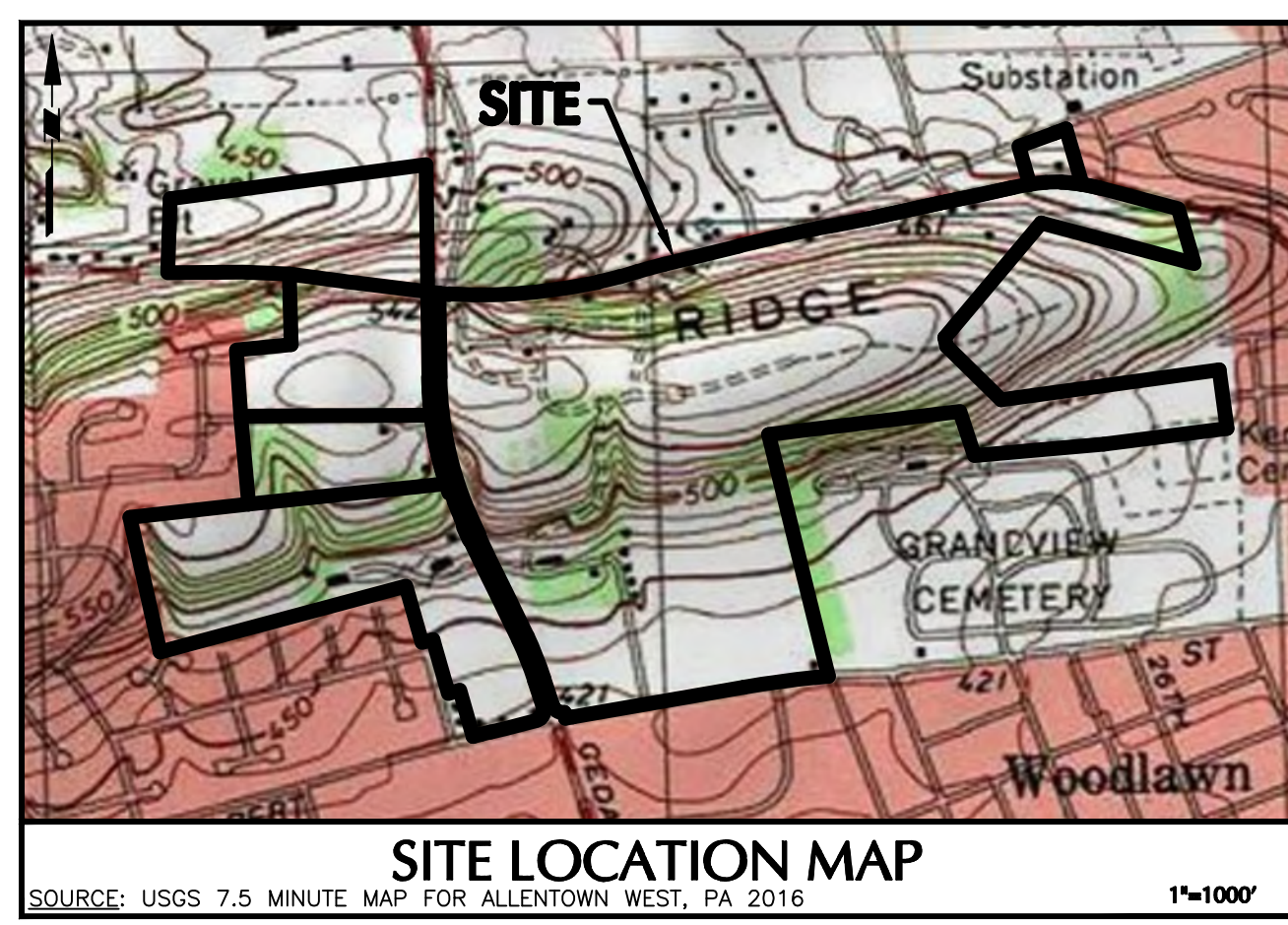
LANGAN
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 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan Engineering and Environmental Services, Inc.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

Project No.: 240043301
 Date: 10/06/2020
 Scale: 1" = 50'
 Drawn By: JDM
 Checked By: JSE
 Submission Date: [Blank]
 Drawing No.: **VT-101**
 Sheet 5 of 151

SUBMISSION DATE: SEPTEMBER 23, 2021 PROJECT NO. 240043301



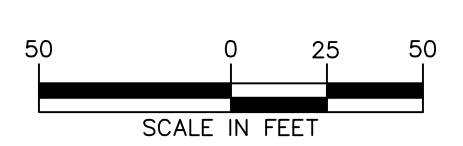
LEGEND EXISTING

PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	---
UTILITY POLE	---
OVERHEAD ELECTRIC	---
WATER MAIN & VALVE	---
FIRE HYDRANT	---
WELL	---
GAS MAIN & VALVE	---
SANITARY LINE, MANHOLE, & CLEANOUT	---
STORM LINE, MANHOLE, & INLET	---
CHAIN-LINK FENCE	---
POST/SPLIT RAIL FENCE	---
WOOD FENCE	---
SIGN	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
TREE ROW	---
CONTOUR	---
SPOT ELEVATION	---
WETLANDS	---
EDGE OF PAVEMENT	---
BITUMINOUS	---
TYPICAL	---
FINISH FLOOR	---
DOOR SILL	---
EXISTING SOIL GROUP	---
EXISTING SOIL GROUP NAME	---
ZONING DISTRICT BOUNDARY	---

SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BKA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BKc	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BKd	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BKf	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DfC	Duffield-Ryder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B

MATCHLINE SEE SHEET VT-101

MATCHLINE SEE SHEET VT-103



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

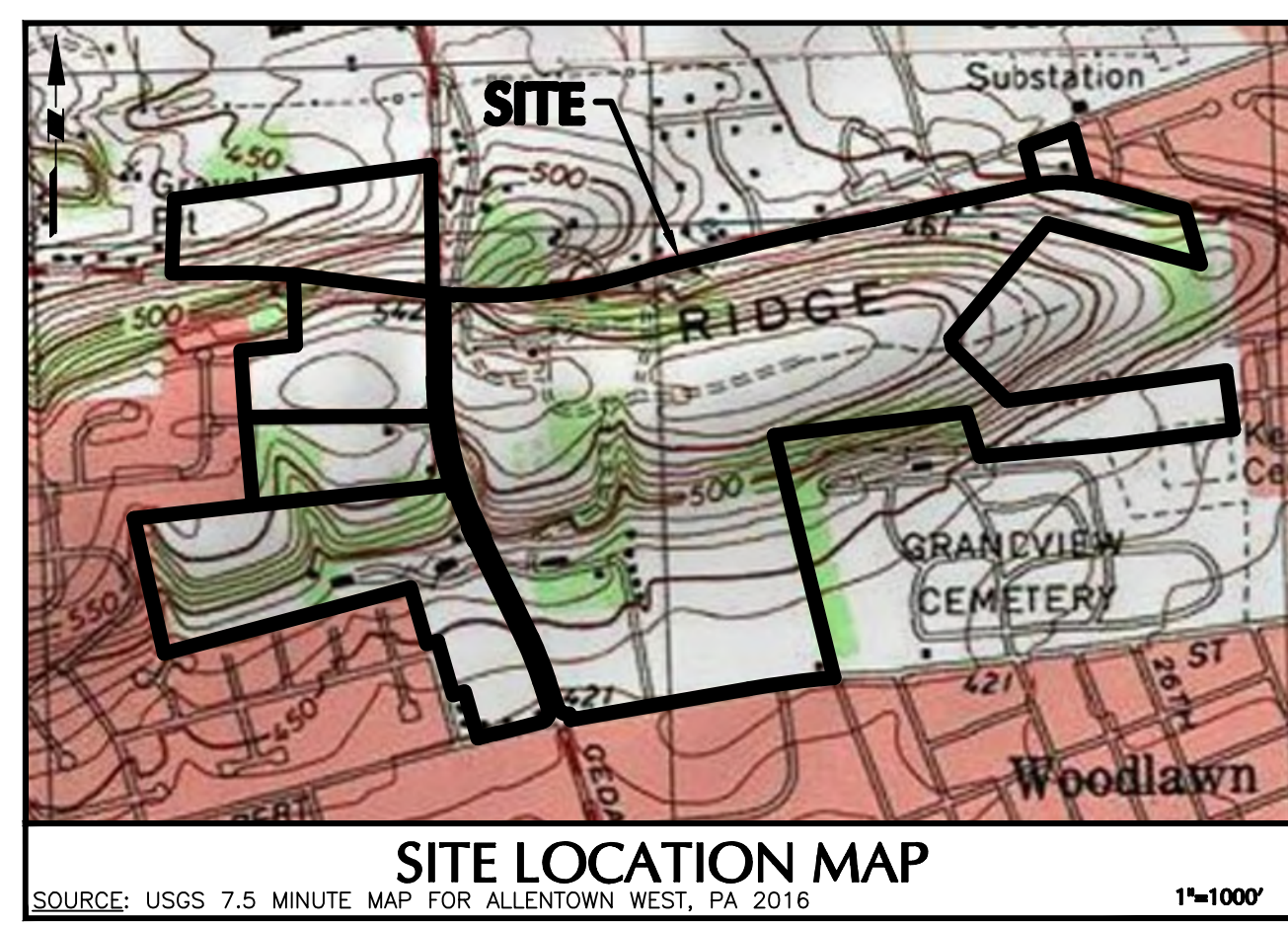
SIGNATURE: JEFFREY HART DATE SIGNED: PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LANGAN
One West Broad Street, Suite 200, Bethlehem, PA 18018
T: 610.864.8900 F: 610.864.8501 www.langan.com
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Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
Langan International LLC
Collectively known as Langan

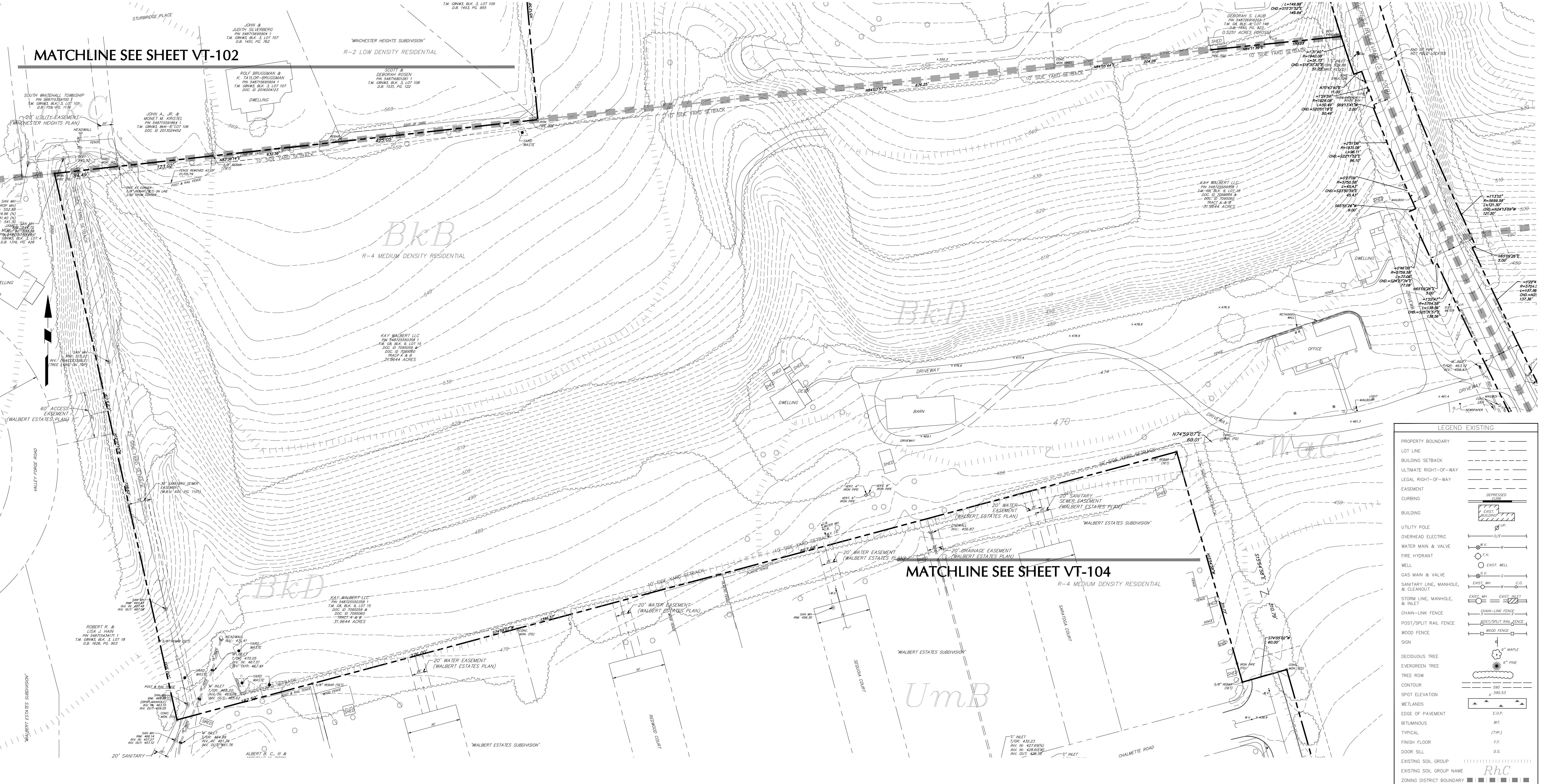
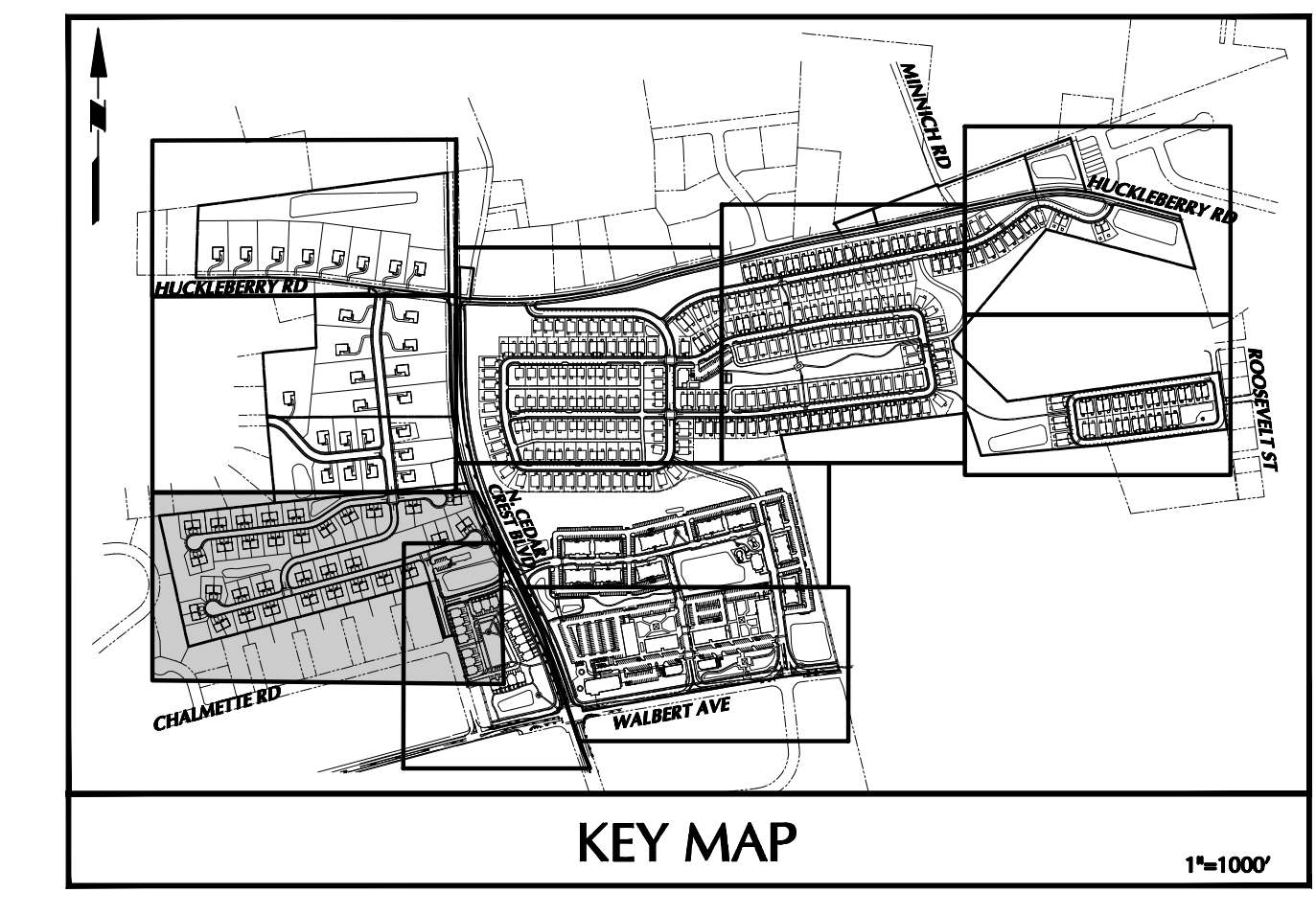
Project: RIDGE FARMS
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PENNSYLVANIA

Drawing Title: EXISTING FEATURES PLAN

Project No. 240043301
Date: 10/06/2020
Scale: 1" = 50'
Drawn By: JDM Checked By: JSE
Submission Date: Sheet 6 of 151

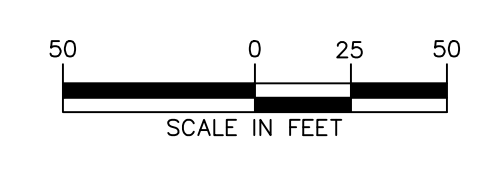


SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DuB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DuC	Duffield-Hyder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B



LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	---
UTILITY POLE	---
OVERHEAD ELECTRIC	---
WATER MAIN & VALVE	---
FIRE HYDRANT	---
WELL	---
GAS MAIN & VALVE	---
SANITARY LINE, MANHOLE, & CLEANOUT	---
STORM LINE, MANHOLE, & INLET	---
CHAIN-LINK FENCE	---
POST/SPLIT RAIL FENCE	---
WOOD FENCE	---
SIGN	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
TREE ROW	---
CONTOUR	---
SPOT ELEVATION	---
WETLANDS	---
EDGE OF PAVEMENT	---
BITUMINOUS	---
TYPICAL	---
FINISH FLOOR	---
DOOR SILL	---
EXISTING SOIL GROUP	---
EXISTING SOIL GROUP NAME	RhC
ZONING DISTRICT BOUNDARY	---

OWNER/APPLICANT
KAY WALBERT LLC
ATTN: RICK KOZE
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857



Date	Description	No.
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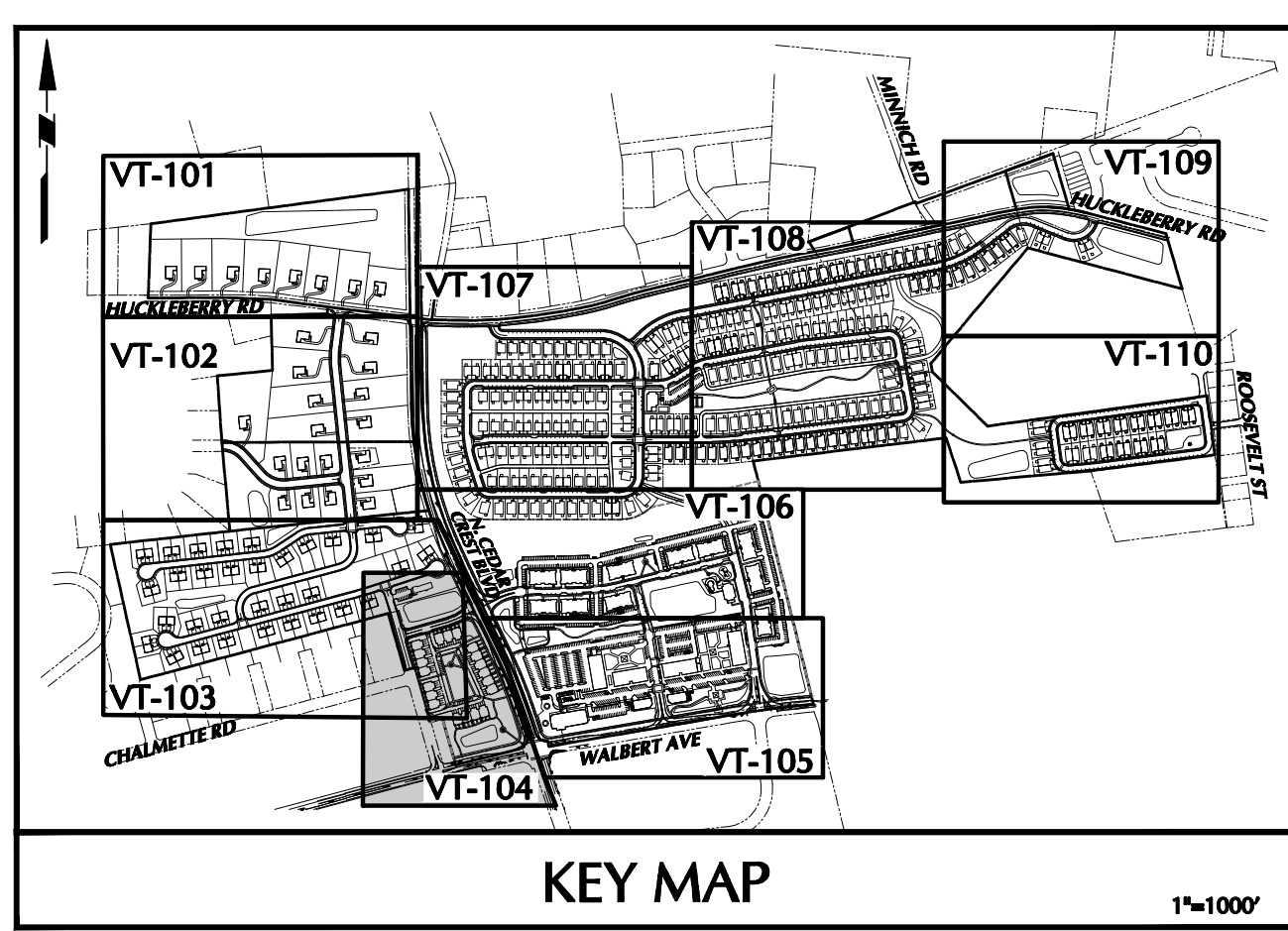
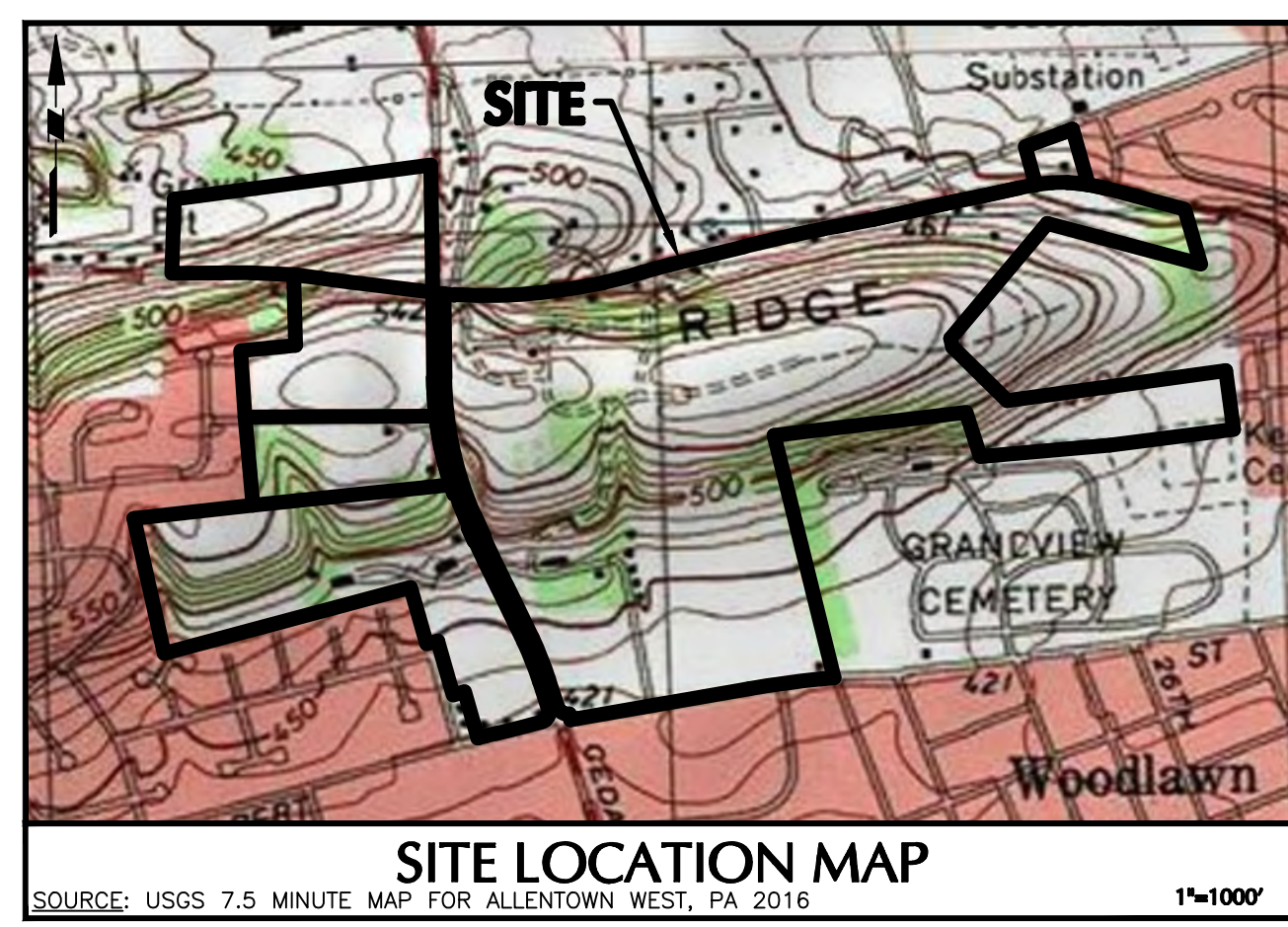
PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

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Project
RIDGE FARMS
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY
PENNSYLVANIA

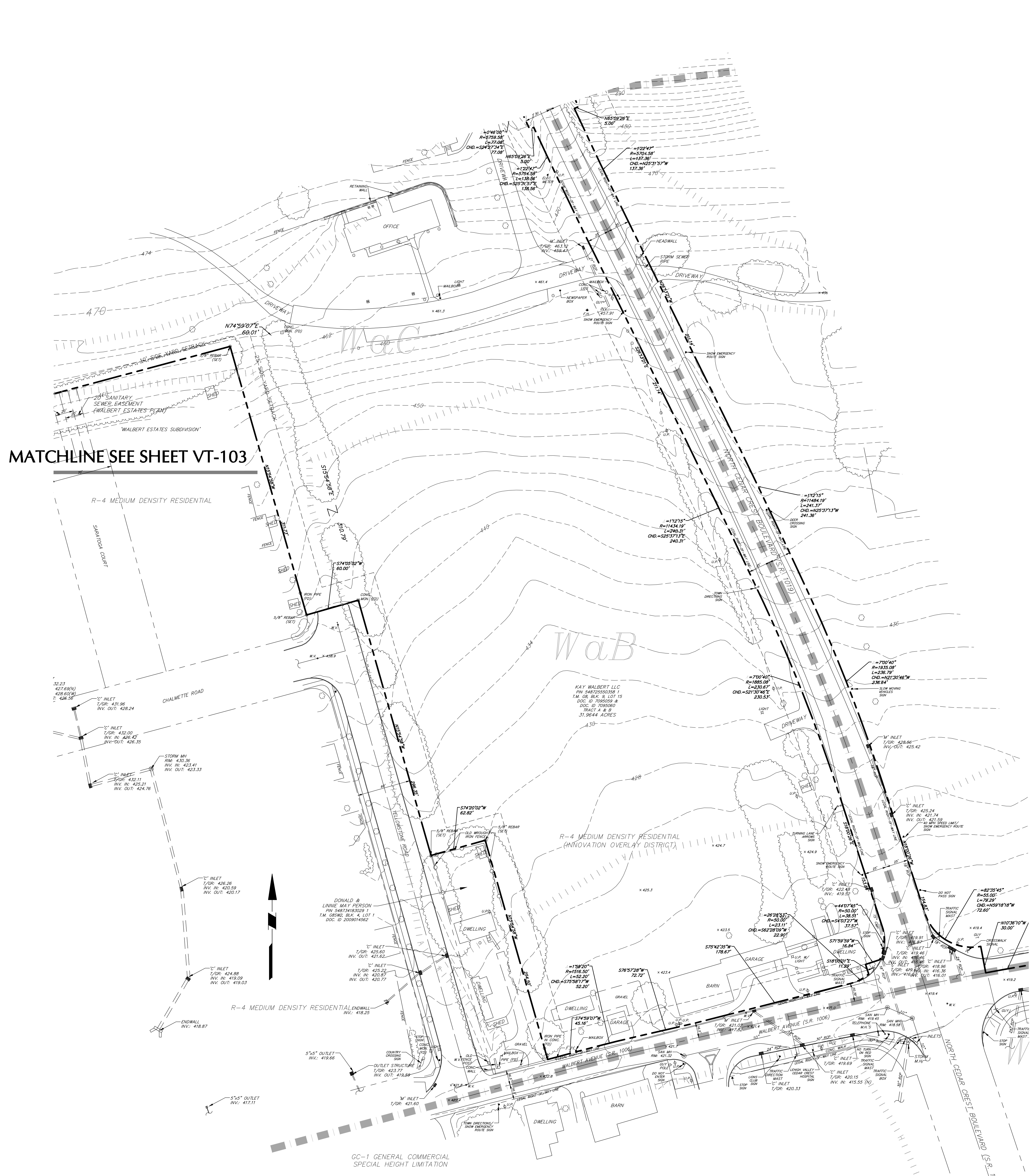
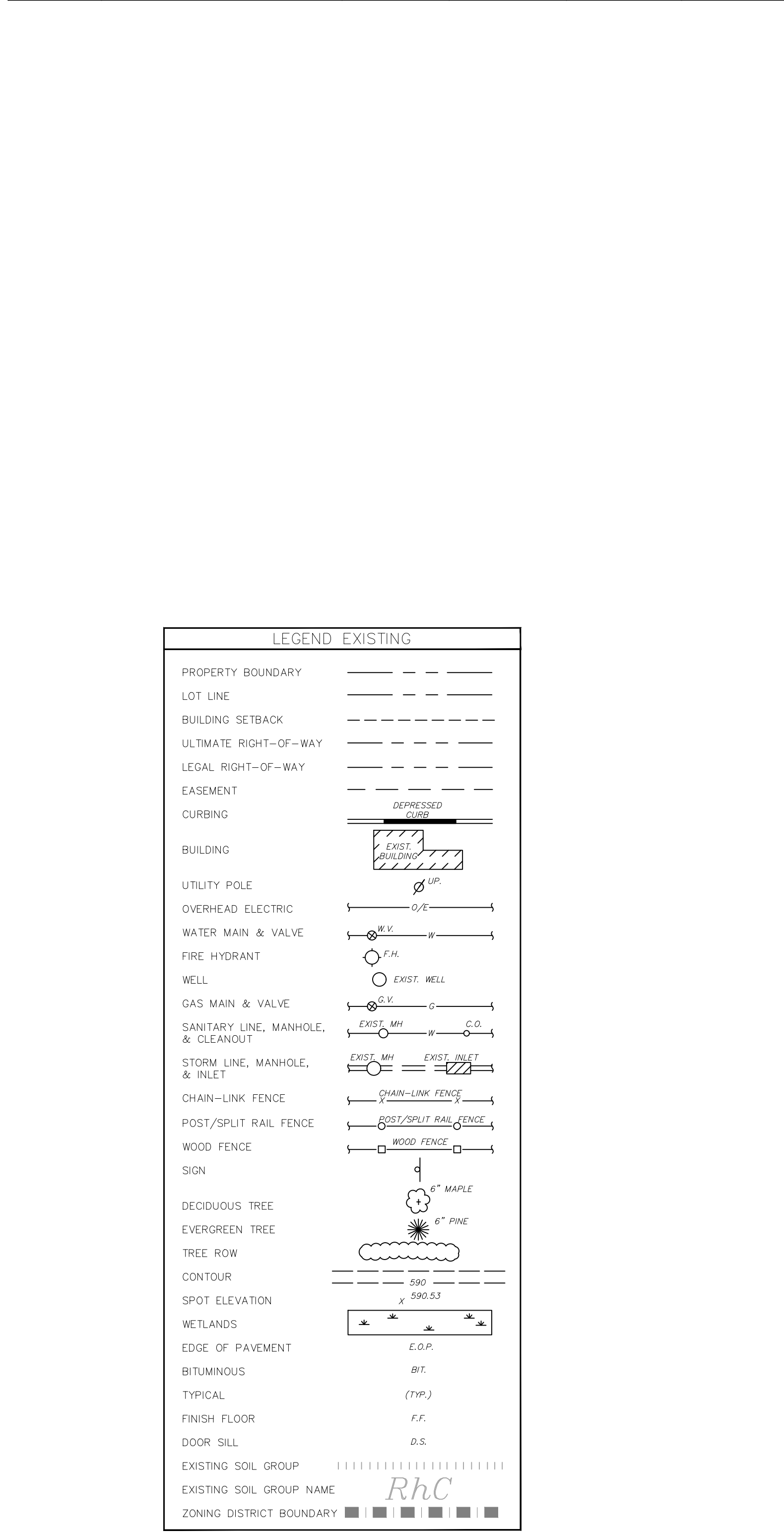
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EXISTING FEATURES PLAN

Project No. **240043301**
Date **10/06/2020**
Scale **1" = 50'**
Drawn By **JDM** Checked By **JSE**
Submission Date
Drawing No. **VT-103**
Sheet 7 of 151

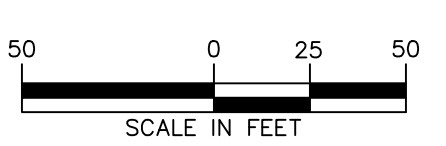
SUBMISSION DATE: SEPTEMBER 23, 2021 PROJECT NO. 240043301



SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B



OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD, SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857



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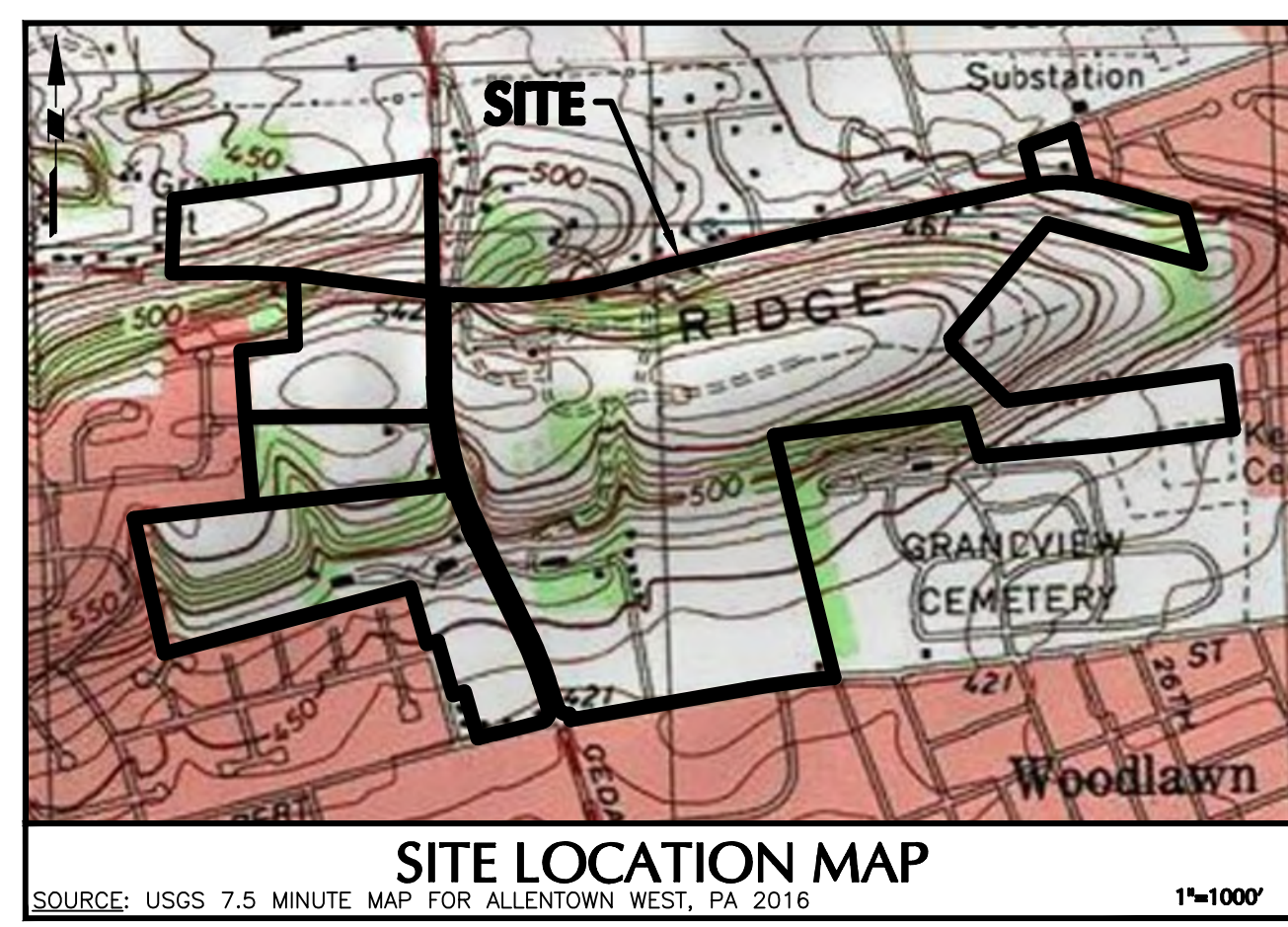
SIGNATURE: JEFFREY HARSHBARGER
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
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Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawing No. **VT-104**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____
 Sheet 8 of 151

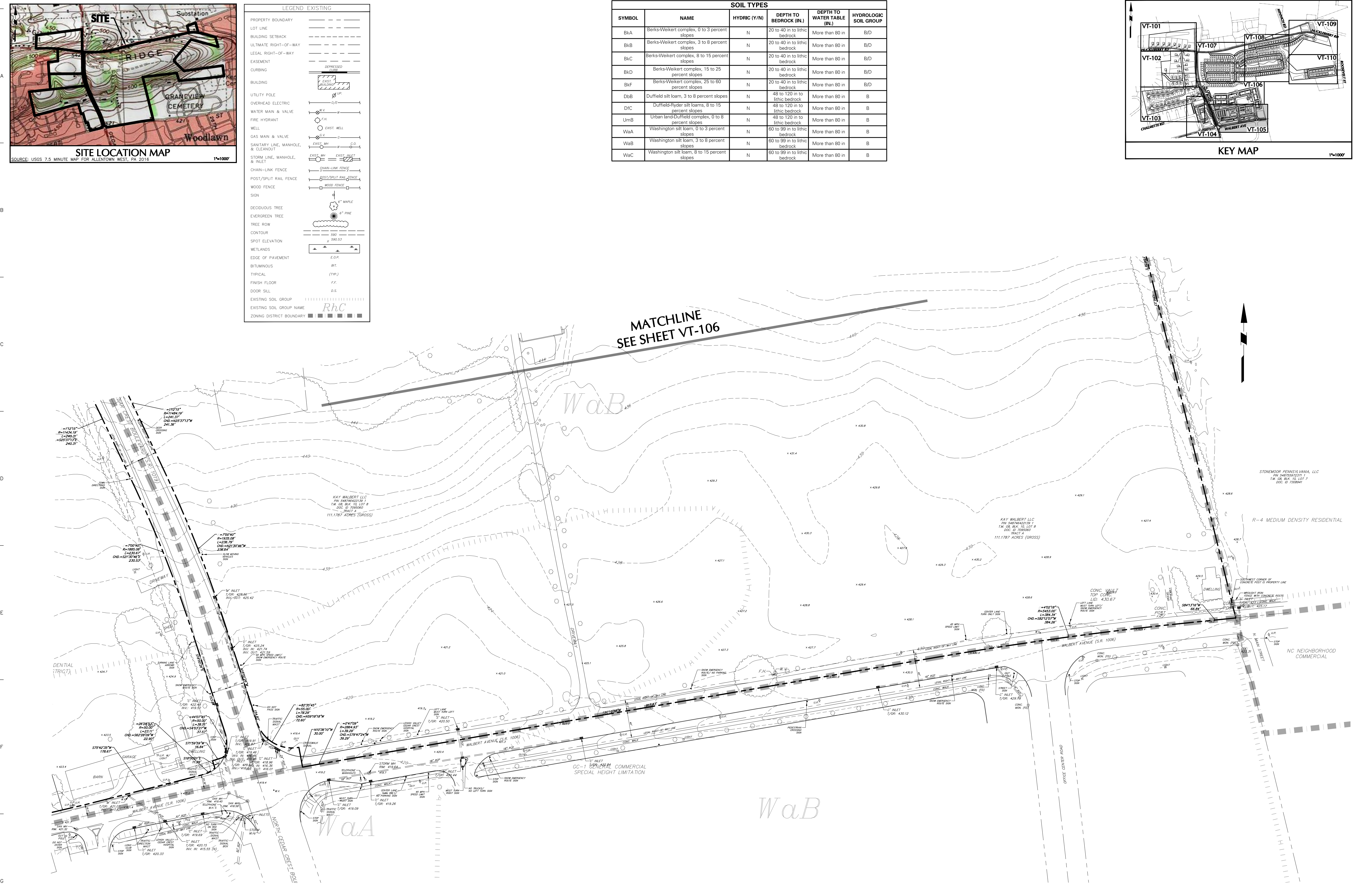
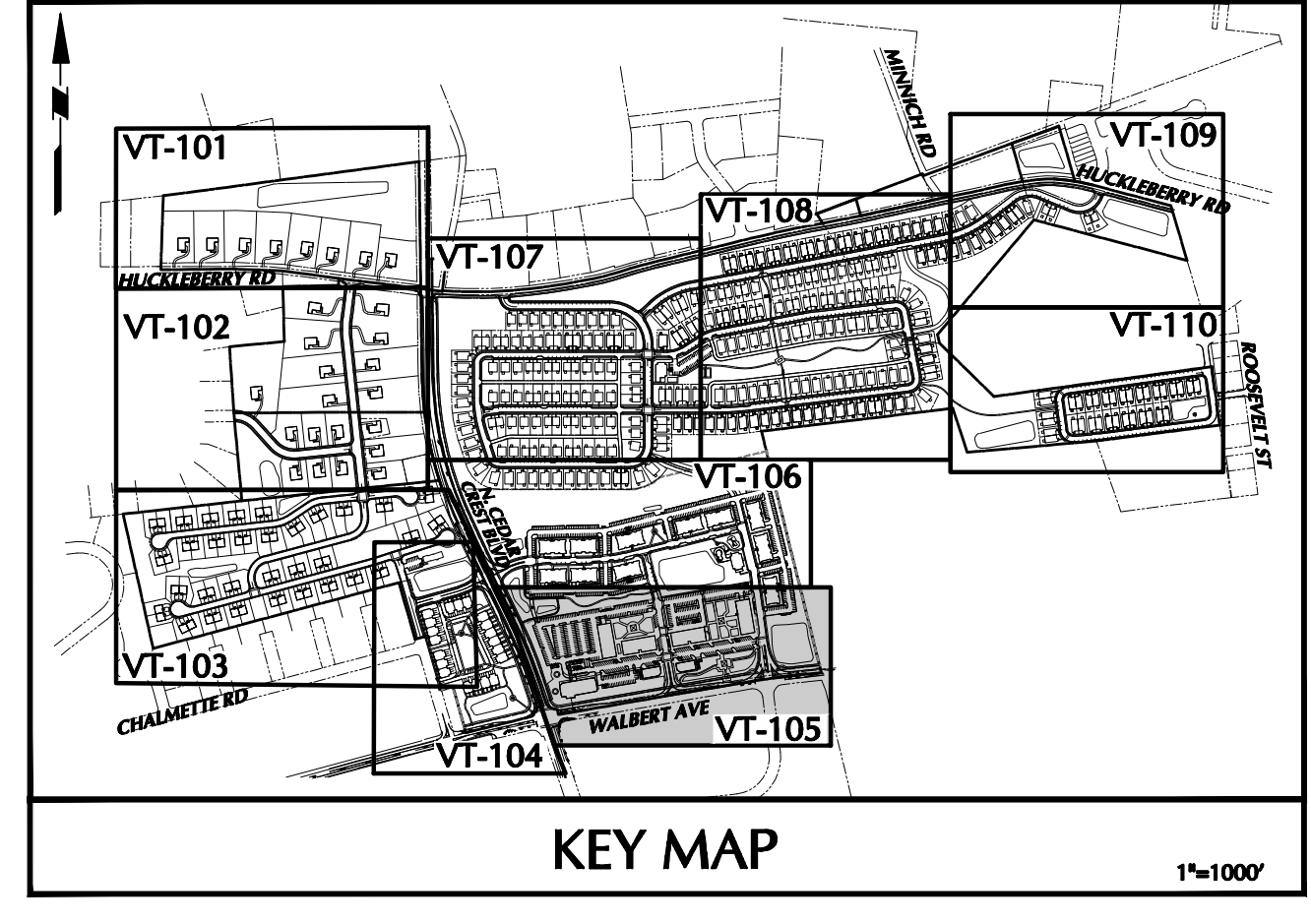


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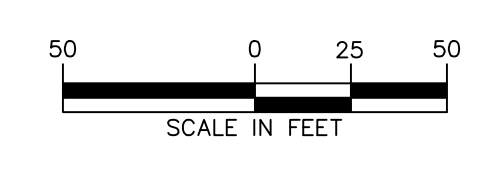
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	---
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EDGE OF PAVEMENT	---
BITUMINOUS	---
TYPICAL	---
FINISH FLOOR	---
DOOR SILL	---
EXISTING SOIL GROUP	---
EXISTING SOIL GROUP NAME	---
ZONING DISTRICT BOUNDARY	---

SOIL TYPES

SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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OWNER/APPLICANT
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 610-395-6857



REVISIONS

Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
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SIGNATURE: *[Signature]* DATE SIGNED: _____
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

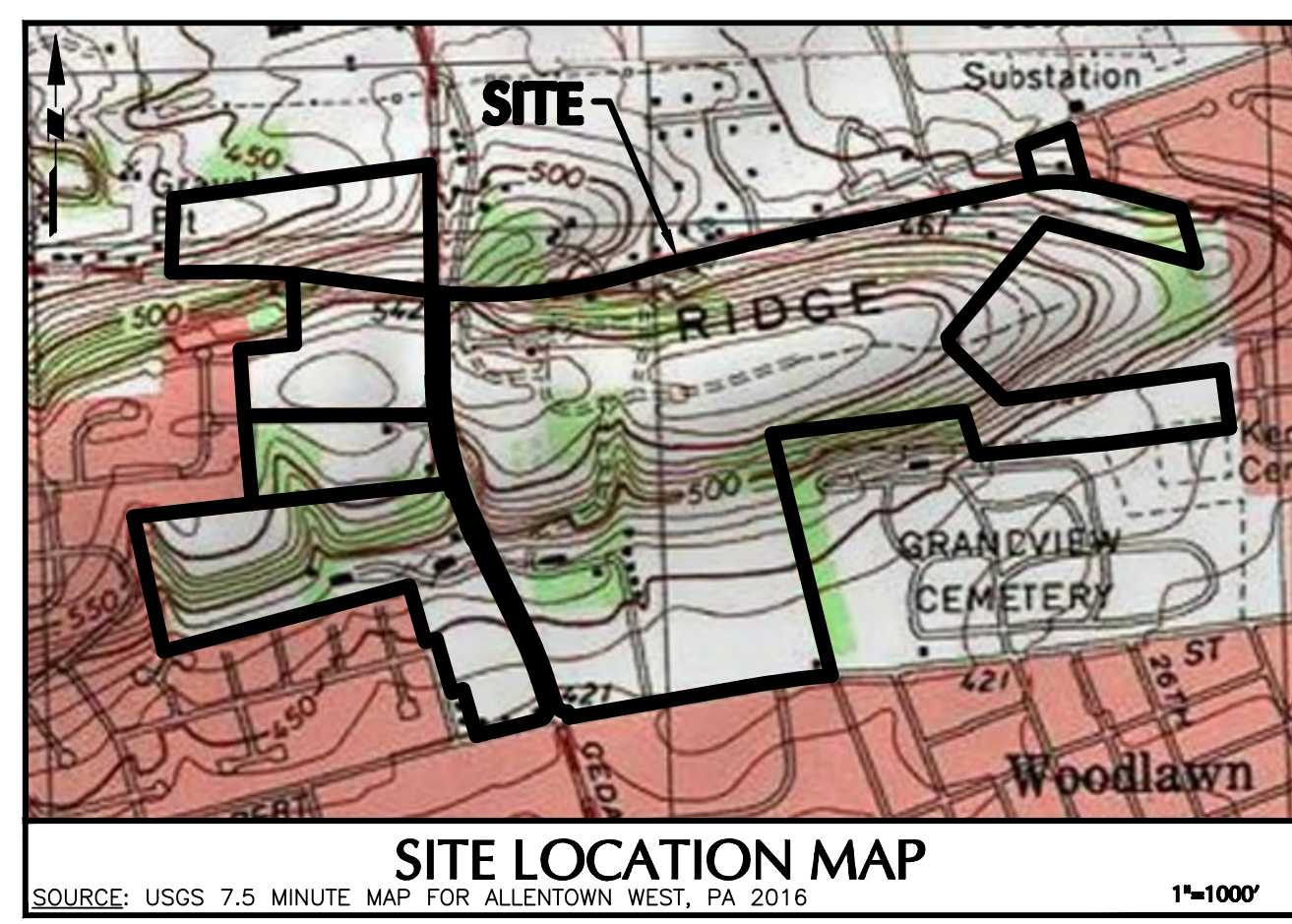
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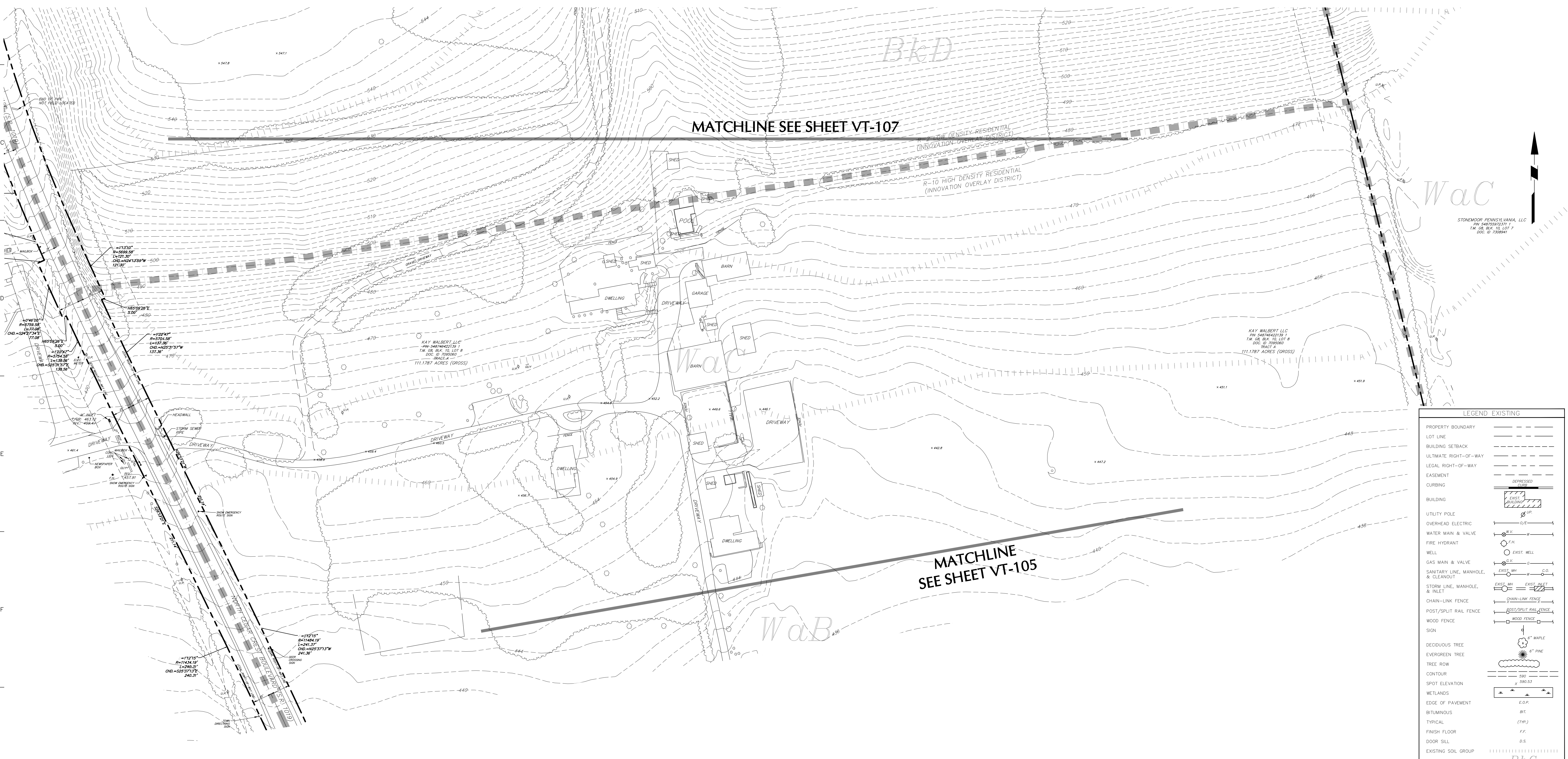
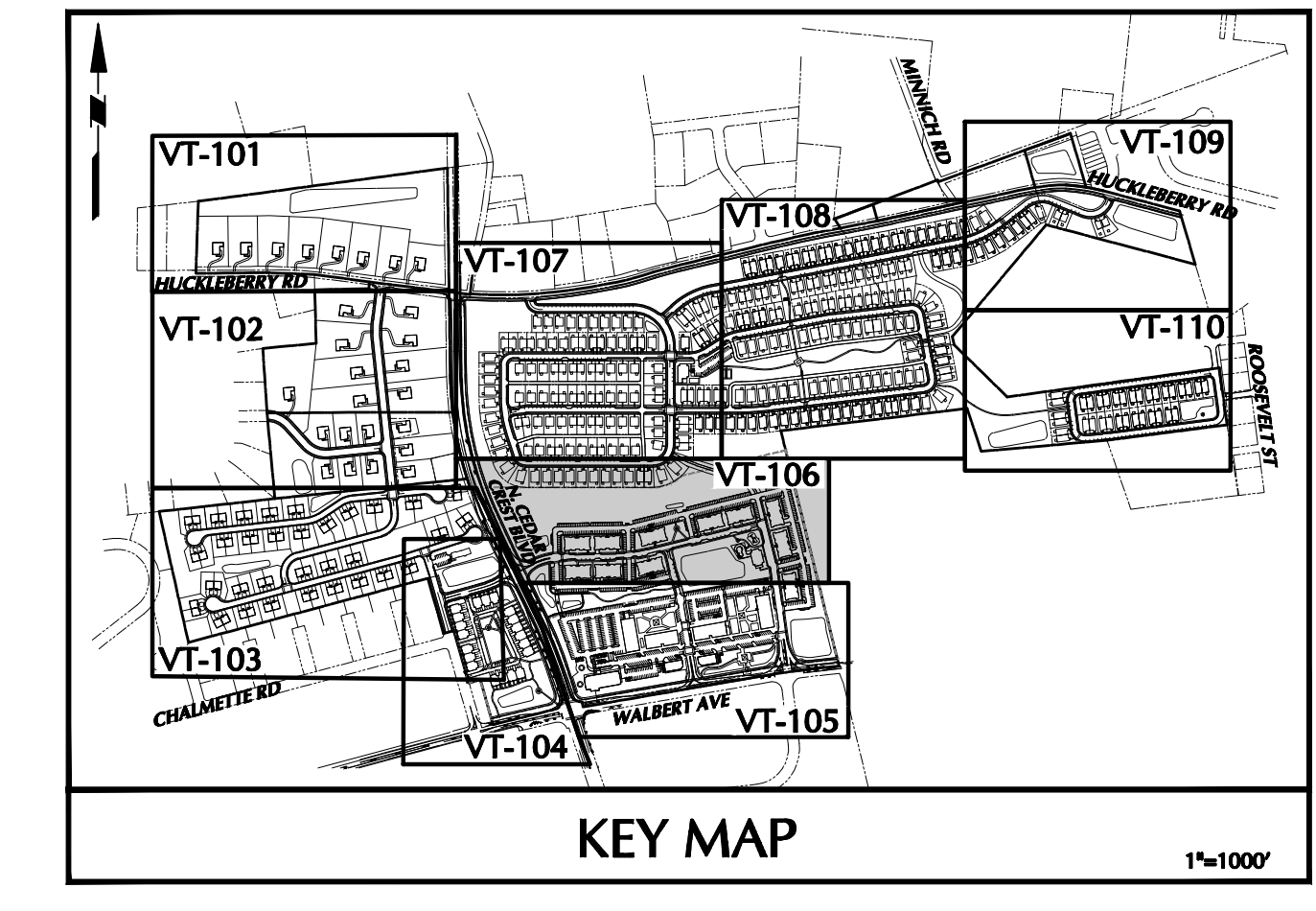
Drawing Title: **EXISTING FEATURES PLAN**

Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____
 Drawing No. **VT-105**
 Sheet 9 of 151

SUBMISSION DATE: SEPTEMBER 23, 2021 PROJECT NO. 240043301 LANSAN

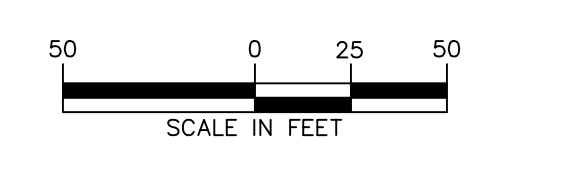


SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
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BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkD	Berks-Weikert complex, 15 to 25 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DfC	Duffield-Hyder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B



LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	---
UTILITY POLE	---
OVERHEAD ELECTRIC	---
WATER MAIN & VALVE	---
FIRE HYDRANT	---
WELL	---
GAS MAIN & VALVE	---
SANITARY LINE, MANHOLE, & CLEANOUT	---
STORM LINE, MANHOLE, & INLET	---
CHAIN-LINK FENCE	---
POST/SPLIT RAIL FENCE	---
WOOD FENCE	---
SIGN	---
DECIDUOUS TREE	---
EVERGREEN TREE	---
TREE ROW	---
CONTOUR	---
SPOT ELEVATION	---
WETLANDS	---
EDGE OF PAVEMENT	---
BITUMINOUS	---
TYPICAL	---
FINISH FLOOR	---
DOOR SILL	---
EXISTING SOIL GROUP	---
EXISTING SOIL GROUP NAME	RhC
ZONING DISTRICT BOUNDARY	---

OWNER/APPLICANT
KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 310
 ALLENTOWN, PA 18106
 610-395-6857



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
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01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

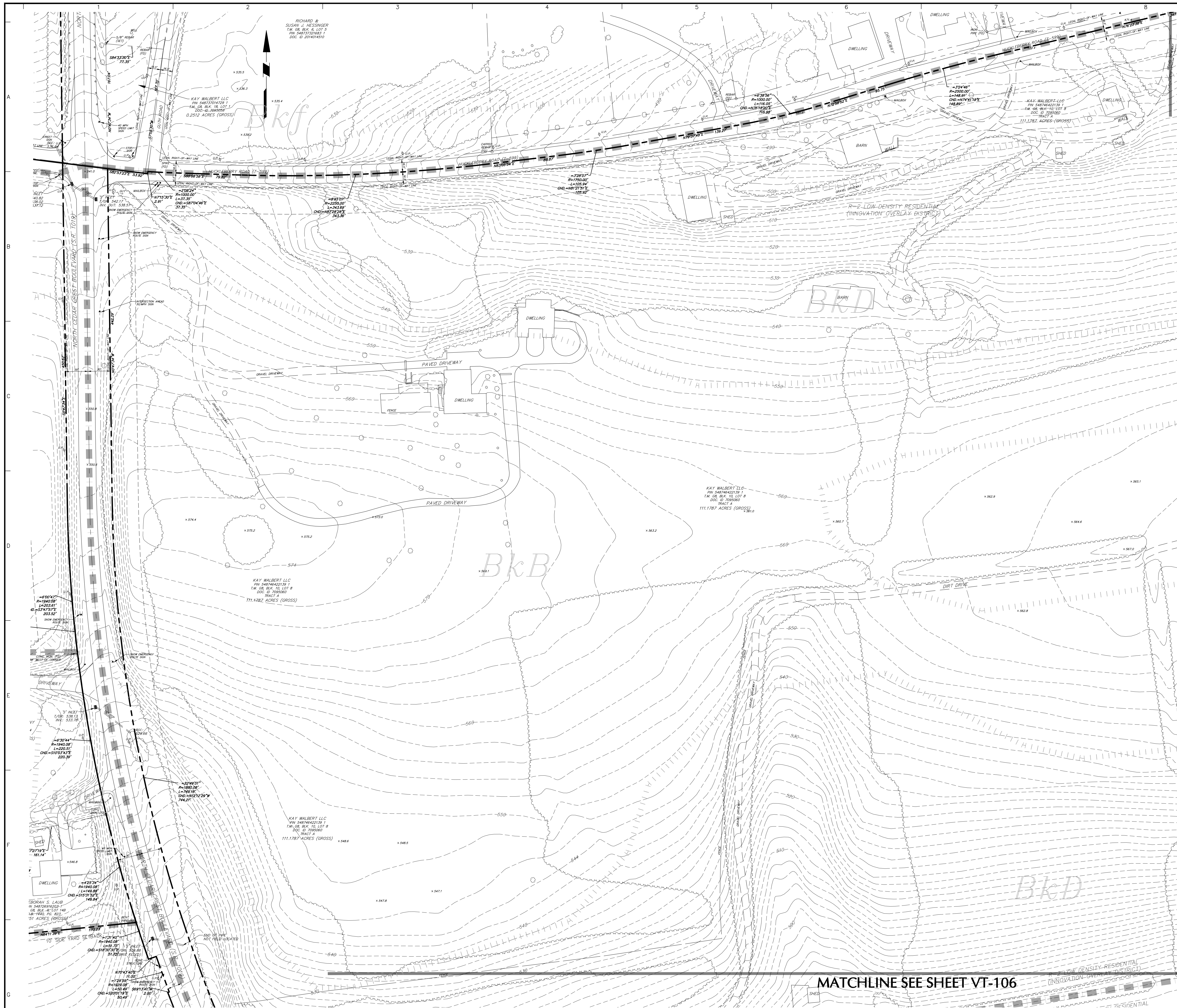
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 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

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 T: 610.864.8900 F: 610.864.8501 www.langan.com
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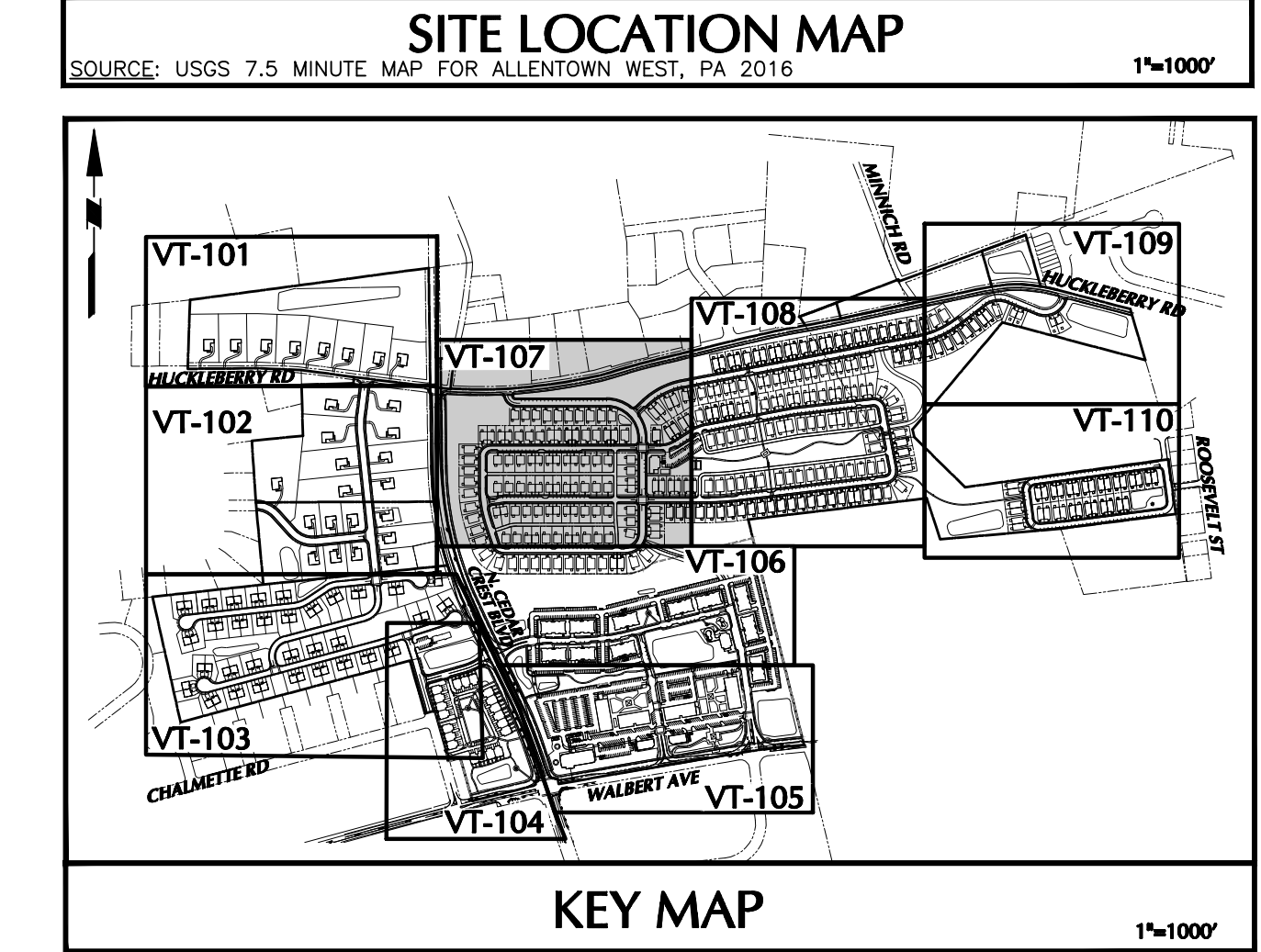
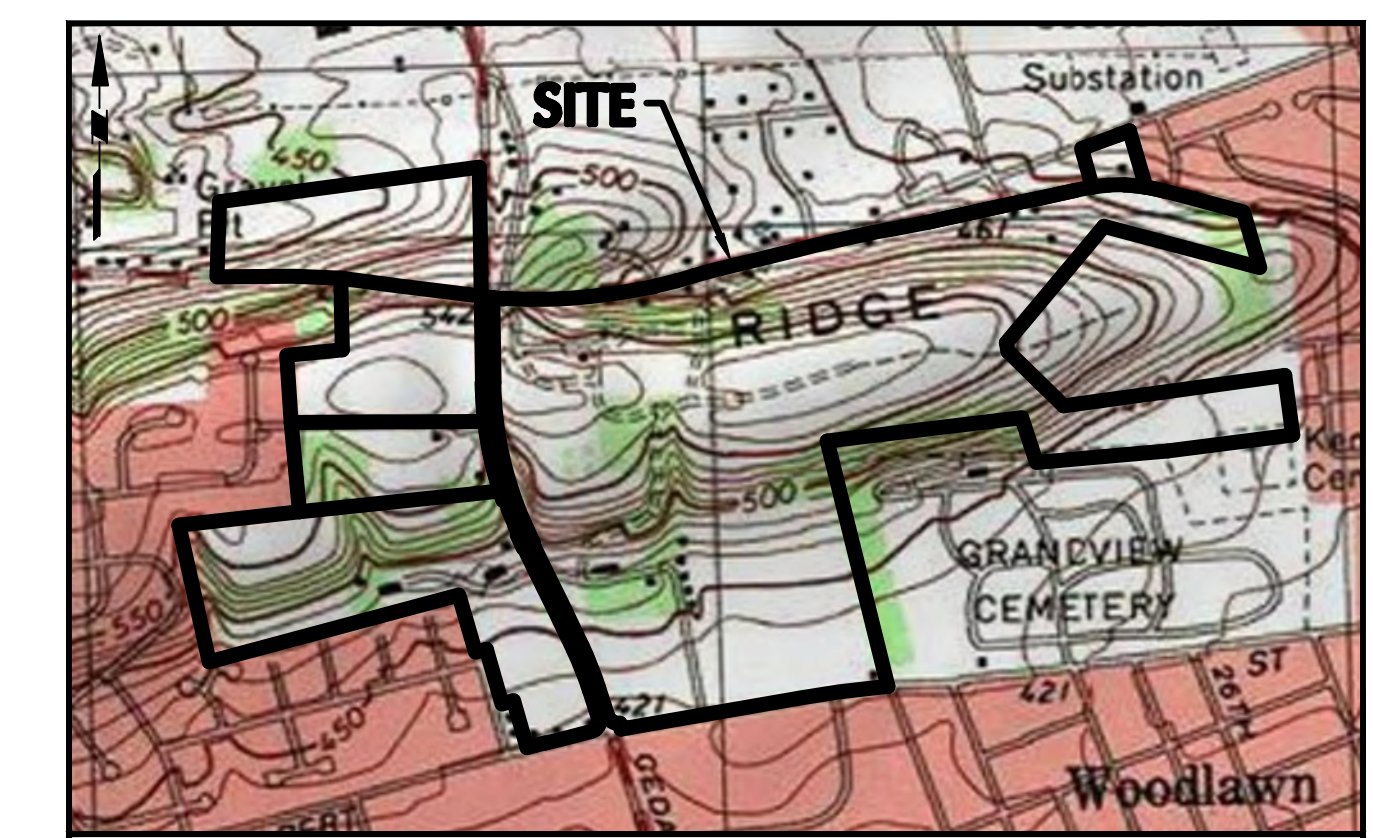
Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____
 Drawing No. **VT-106**
 Sheet 10 of 151



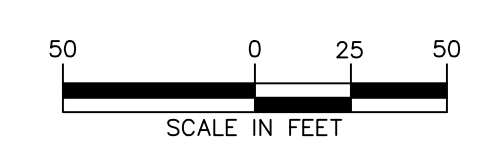
MATCHLINE
SEE SHEET VT-106



SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	S/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	S/D
BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	S/D
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BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	S/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DnC	Duffield-Hyder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B

LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD ELECTRIC	[Symbol]
WATER MAIN & VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
WELL	[Symbol]
GAS MAIN & VALVE	[Symbol]
SANITARY LINE, MANHOLE, & CLEANOUT	[Symbol]
STORM LINE, MANHOLE, & INLET	[Symbol]
CHAIN-LINK FENCE	[Symbol]
POST/SPLIT RAIL FENCE	[Symbol]
WOOD FENCE	[Symbol]
SIGN	[Symbol]
DECIDUOUS TREE	[Symbol]
EVERGREEN TREE	[Symbol]
TREE ROW	[Symbol]
CONTOUR	[Symbol]
SPOT ELEVATION	[Symbol]
WETLANDS	[Symbol]
EDGE OF PAVEMENT	[Symbol]
BITUMINOUS	[Symbol]
TYPICAL	[Symbol]
FINISH FLOOR	[Symbol]
DOOR SILL	[Symbol]
EXISTING SOIL GROUP	[Symbol]
EXISTING SOIL GROUP NAME	[Symbol]
ZONING DISTRICT BOUNDARY	[Symbol]

OWNER/APPLICANT
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SIGNATURE: [Signature]
PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E
DATE SIGNED: [Date]

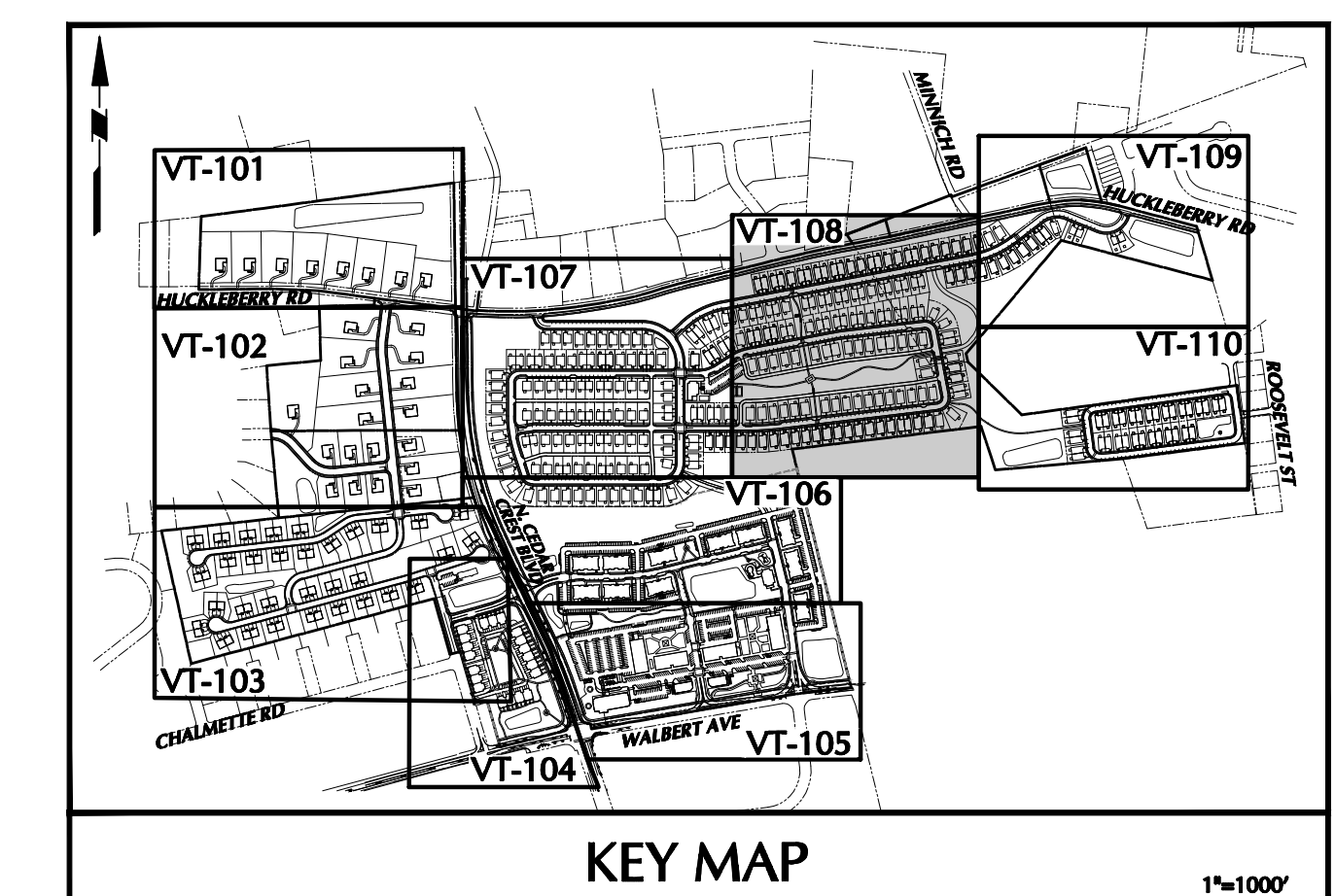
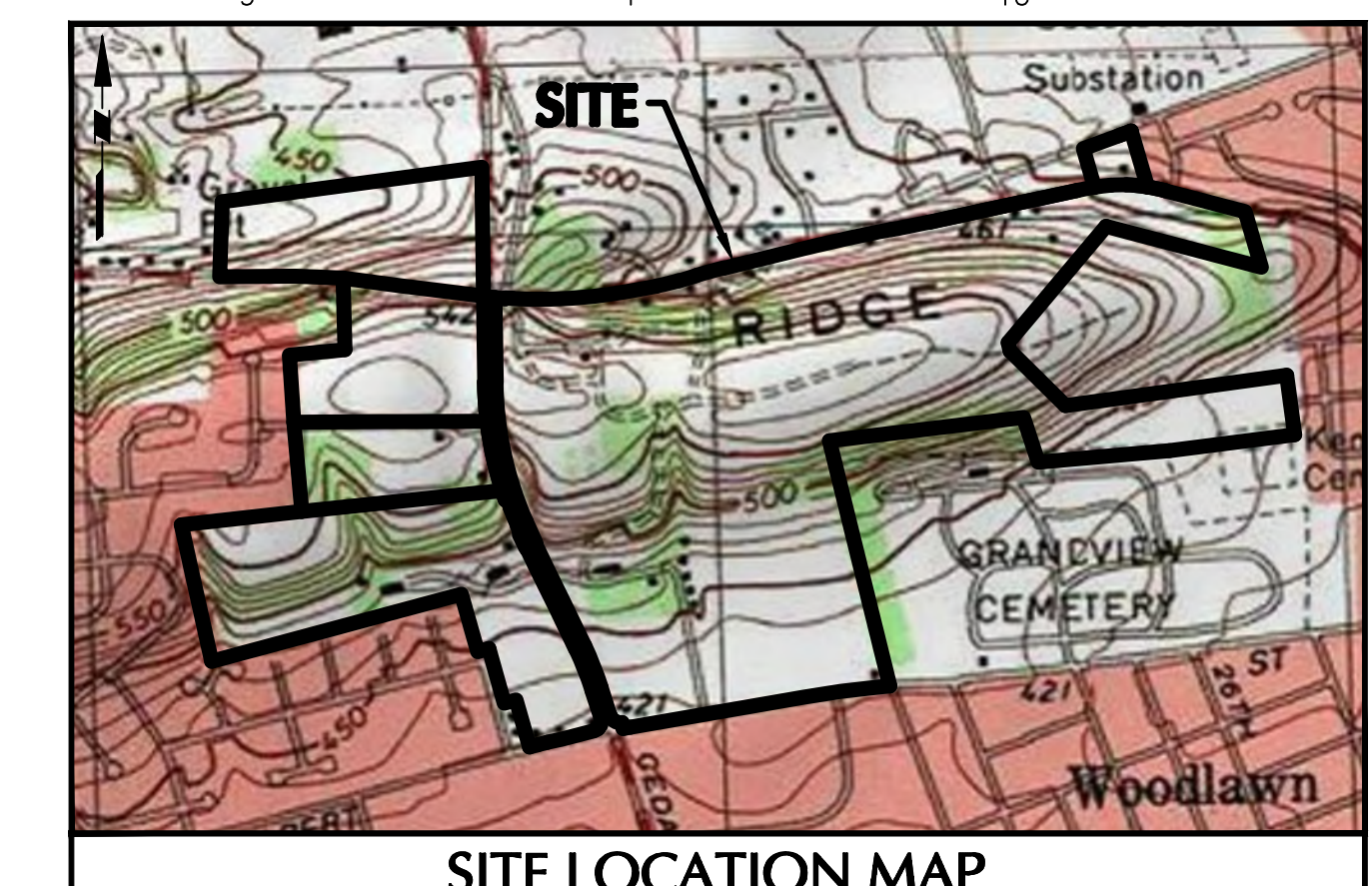
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Project: **RIDGE FARMS**
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

Project No.: **240043301**
Date: **10/06/2020**
Scale: **1" = 50'**
Drawn By: **JDM** Checked By: **JSE**
Submission Date: [Date]
Drawing No.: **VT-107**
Sheet 11 of 151

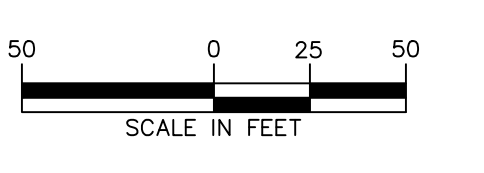
SUBMISSION DATE: SEPTEMBER 23, 2021
PROJECT NO. 240043301



SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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BkC	Berks-Weikert complex, 8 to 15 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DBb	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
DFc	Duffield-Ryder silt loams, 8 to 15 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B

LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD ELECTRIC	[Symbol]
WATER MAIN & VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
WELL	[Symbol]
GAS MAIN & VALVE	[Symbol]
SANITARY LINE, MANHOLE, & CLEANOUT	[Symbol]
STORM LINE, MANHOLE, & INLET	[Symbol]
CHAIN-LINK FENCE	[Symbol]
POST/SPLIT RAIL FENCE	[Symbol]
WOOD FENCE	[Symbol]
SIGN	[Symbol]
DECIDUOUS TREE	[Symbol]
EVERGREEN TREE	[Symbol]
TREE ROW	[Symbol]
CONTOUR	[Symbol]
SPOT ELEVATION	[Symbol]
WETLANDS	[Symbol]
EDGE OF PAVEMENT	[Symbol]
BITUMINOUS	[Symbol]
TYPICAL	[Symbol]
FINISH FLOOR	[Symbol]
DOOR SILL	[Symbol]
EXISTING SOIL GROUP	[Symbol]
EXISTING SOIL GROUP NAME	[Symbol]
ZONING DISTRICT BOUNDARY	[Symbol]

OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857



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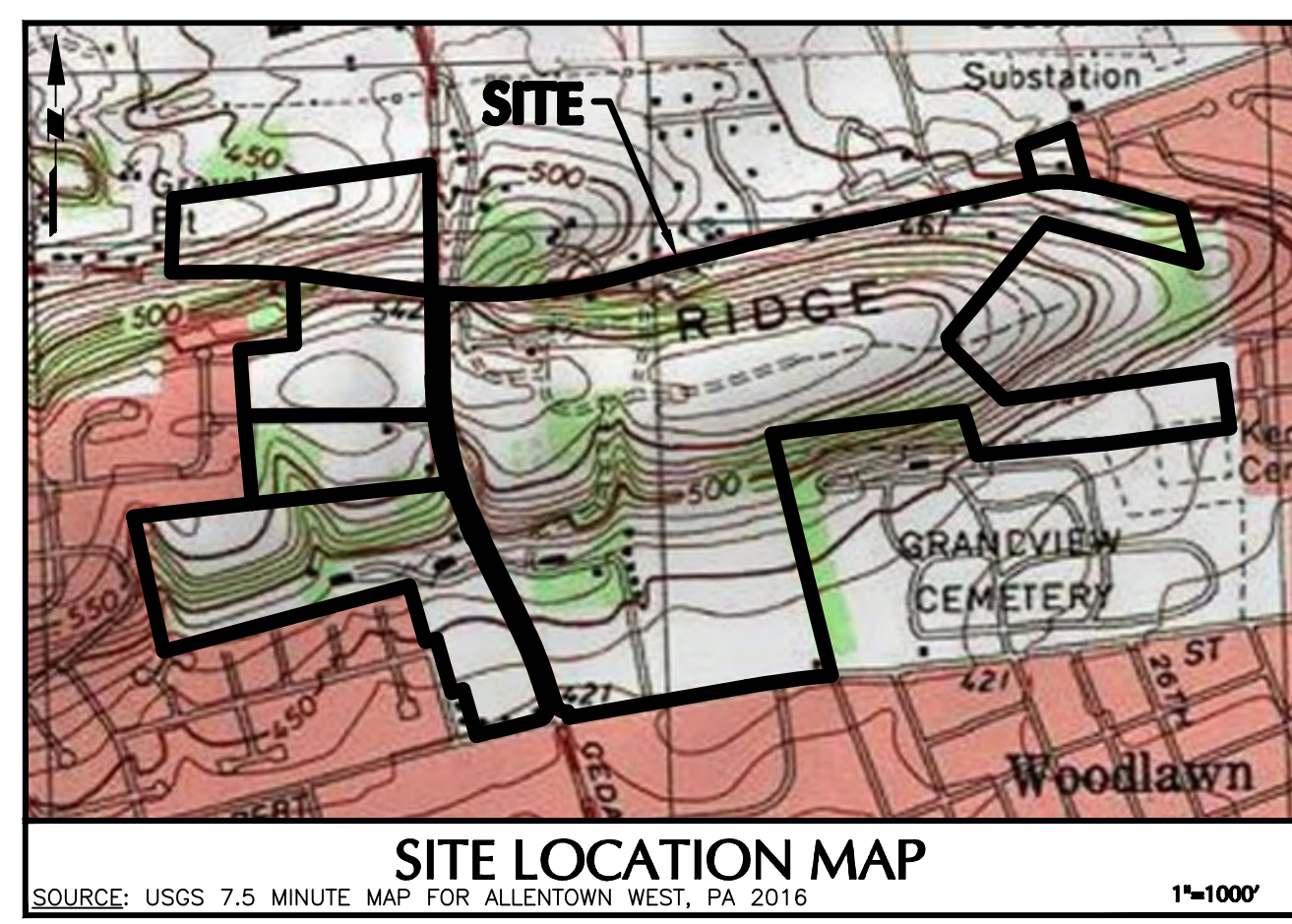
SIGNATURE: [Signature]
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

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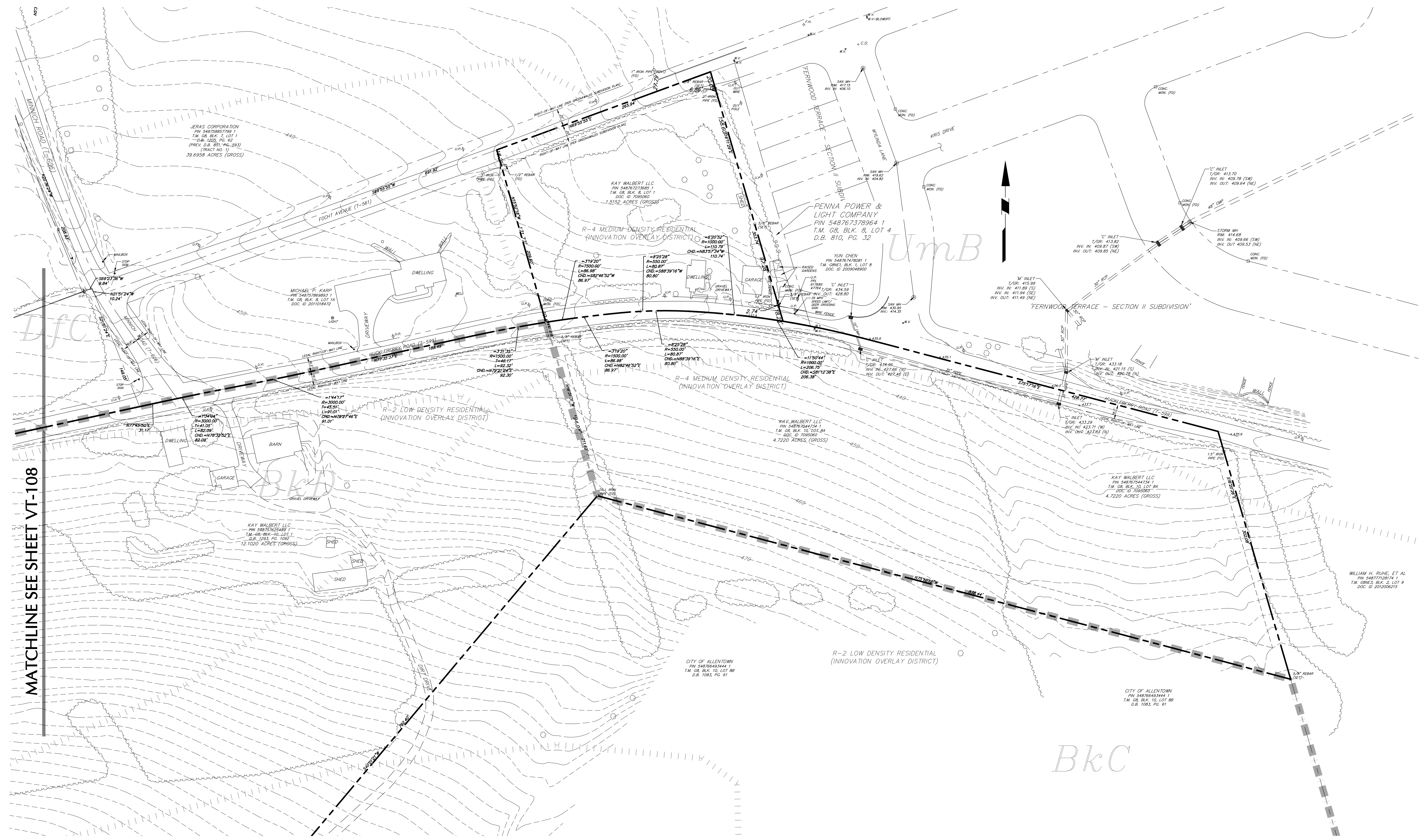
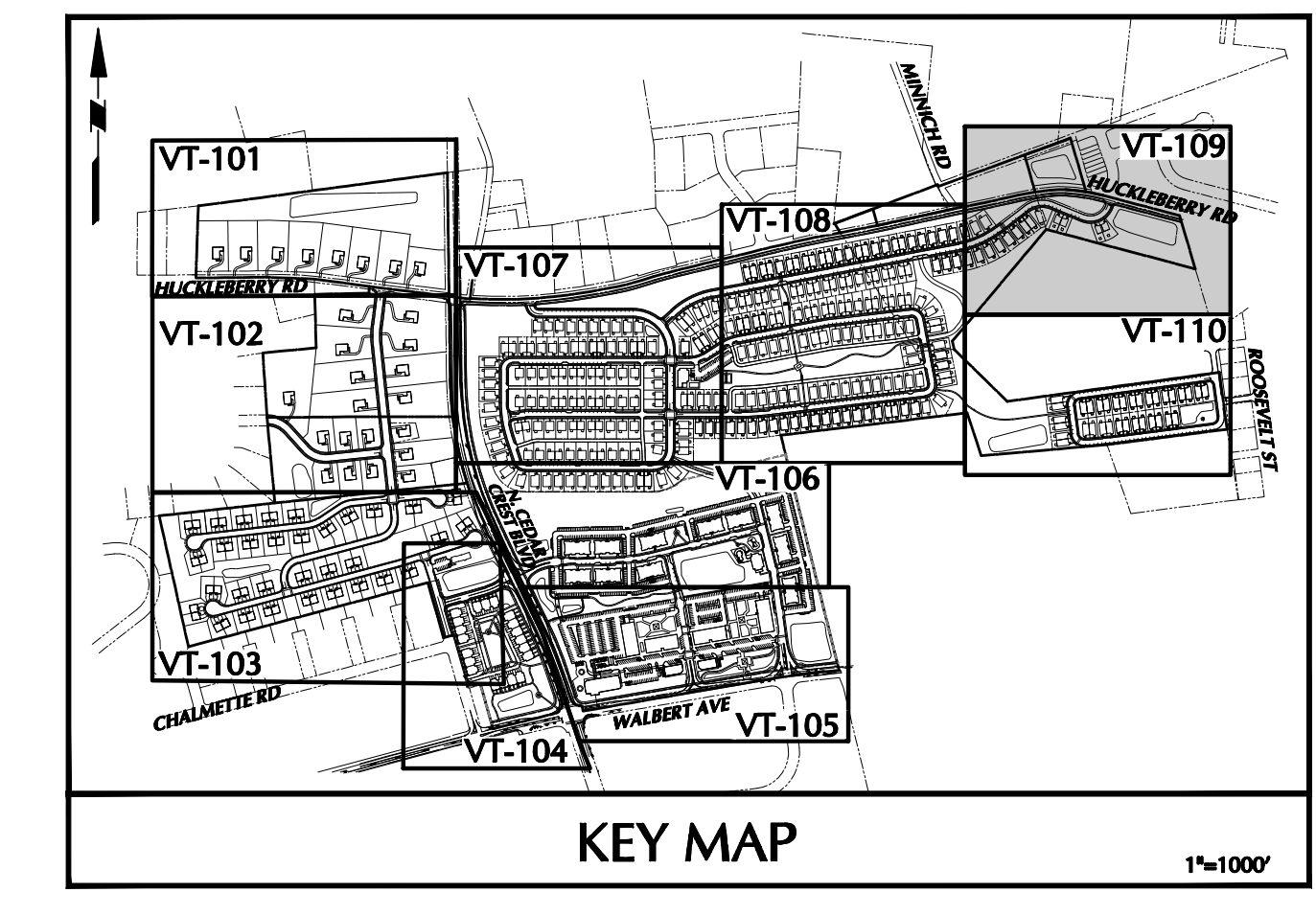
Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____
 Drawing No. **VT-108**
 Sheet 12 of 151

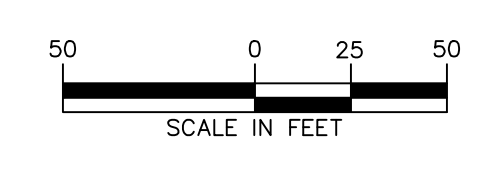


SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
BkA	Berks-Weikert complex, 0 to 3 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
BkB	Berks-Weikert complex, 3 to 8 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
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BkF	Berks-Weikert complex, 25 to 60 percent slopes	N	20 to 40 in to lithic bedrock	More than 80 in	B/D
DbB	Duffield silt loam, 3 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
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UmB	Urban land-Duffield complex, 0 to 8 percent slopes	N	48 to 120 in to lithic bedrock	More than 80 in	B
WlaA	Washington silt loam, 0 to 3 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaB	Washington silt loam, 3 to 8 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B
WaC	Washington silt loam, 8 to 15 percent slopes	N	60 to 99 in to lithic bedrock	More than 80 in	B



LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD ELECTRIC	[Symbol]
WATER MAIN & VALVE	[Symbol]
FIRE HYDRANT	[Symbol]
WELL	[Symbol]
GAS MAIN & VALVE	[Symbol]
SANITARY LINE, MANHOLE, & CLEANOUT	[Symbol]
STORM LINE, MANHOLE, & INLET	[Symbol]
CHAIN-LINK FENCE	[Symbol]
POST/SPLIT RAIL FENCE	[Symbol]
WOOD FENCE	[Symbol]
SIGN	[Symbol]
DECIDUOUS TREE	[Symbol]
EVERGREEN TREE	[Symbol]
TREE ROW	[Symbol]
CONTOUR	[Symbol]
SPOT ELEVATION	[Symbol]
WETLANDS	[Symbol]
EDGE OF PAVEMENT	[Symbol]
BITUMINOUS	[Symbol]
TYPICAL	[Symbol]
FINISH FLOOR	[Symbol]
DOOR SILL	[Symbol]
EXISTING SOIL GROUP	[Symbol]
EXISTING SOIL GROUP NAME	RhC
ZONING DISTRICT BOUNDARY	[Symbol]

OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857



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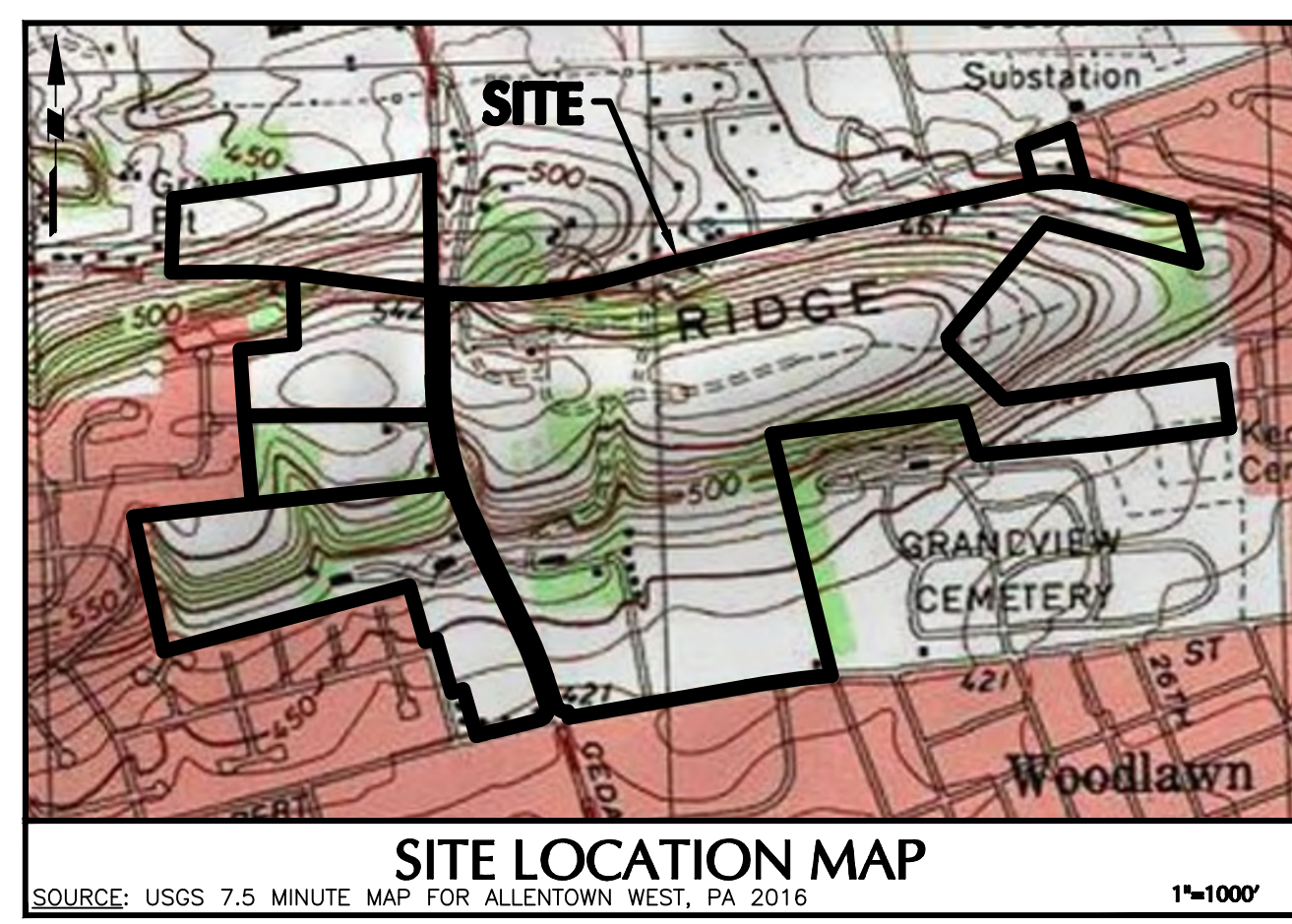
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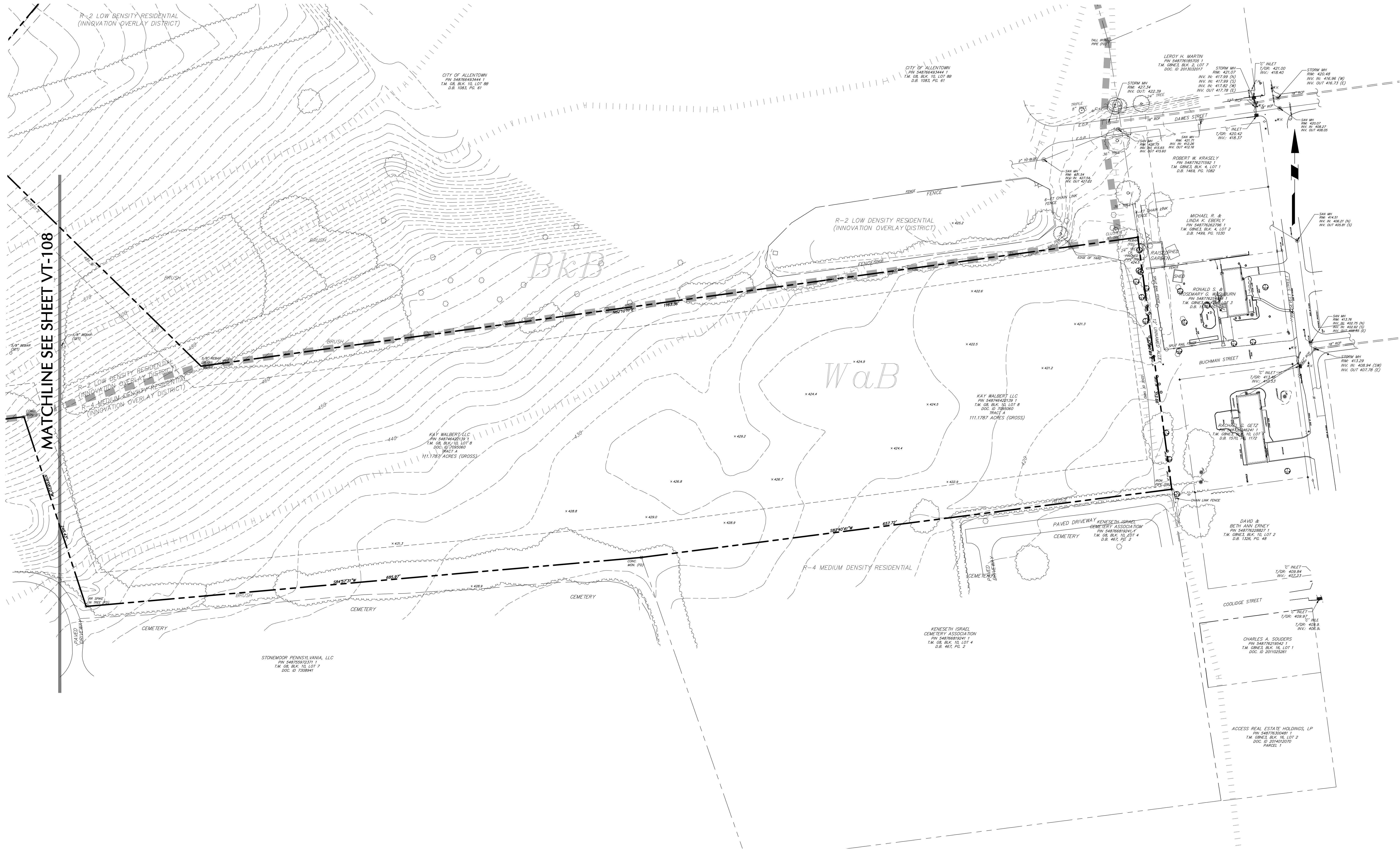
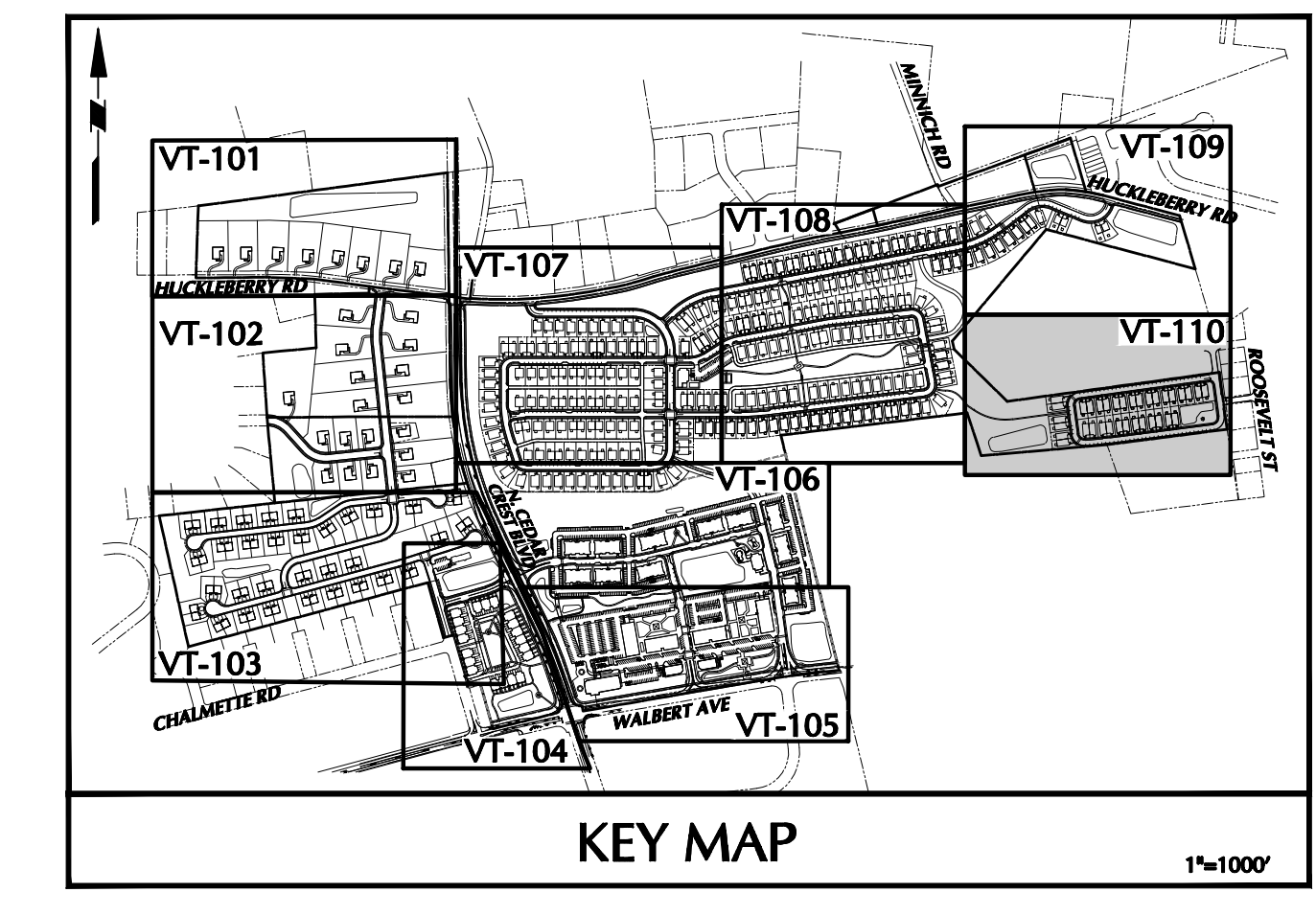
Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____
 Drawing No. **VT-109**
 Sheet 13 of 151

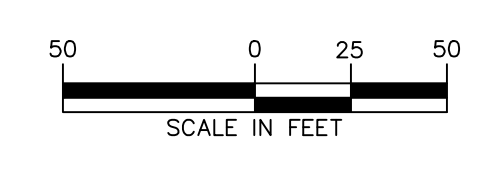


SOIL TYPES					
SYMBOL	NAME	HYDRIC (Y/N)	DEPTH TO BEDROCK (IN.)	DEPTH TO WATER TABLE (IN.)	HYDROLOGIC SOIL GROUP
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LEGEND EXISTING	
PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING SETBACK	---
ULTIMATE RIGHT-OF-WAY	---
LEGAL RIGHT-OF-WAY	---
EASEMENT	---
CURBING	---
BUILDING	---
UTILITY POLE	---
OVERHEAD ELECTRIC	---
WATER MAIN & VALVE	---
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SANITARY LINE, MANHOLE, & CLEANOUT	---
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CHAIN-LINK FENCE	---
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DECIDUOUS TREE	---
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EXISTING SOIL GROUP	---
EXISTING SOIL GROUP NAME	RhC
ZONING DISTRICT BOUNDARY	---

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05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

SIGNATURE: *Jeffrey E. Hardt* DATE SIGNED: _____
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

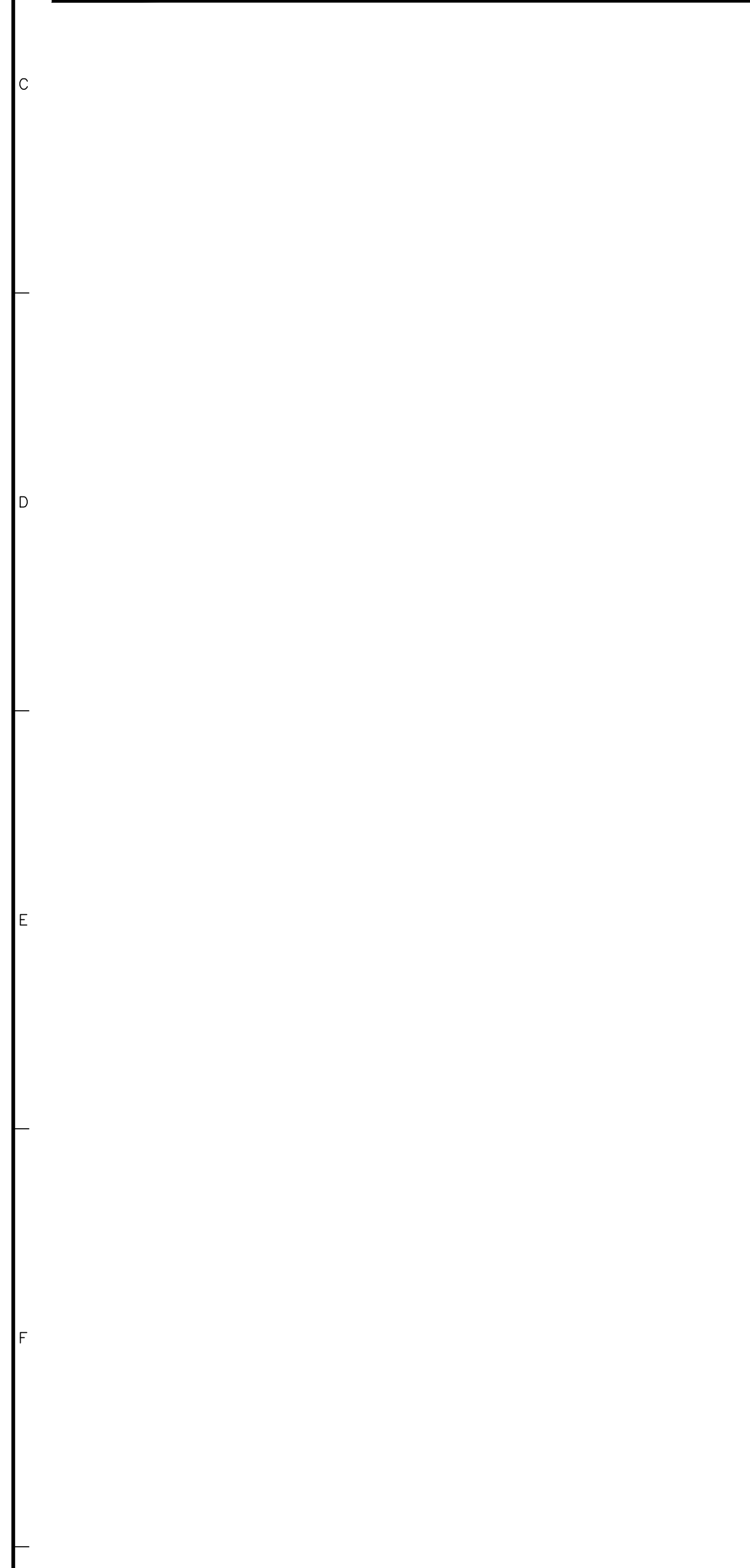
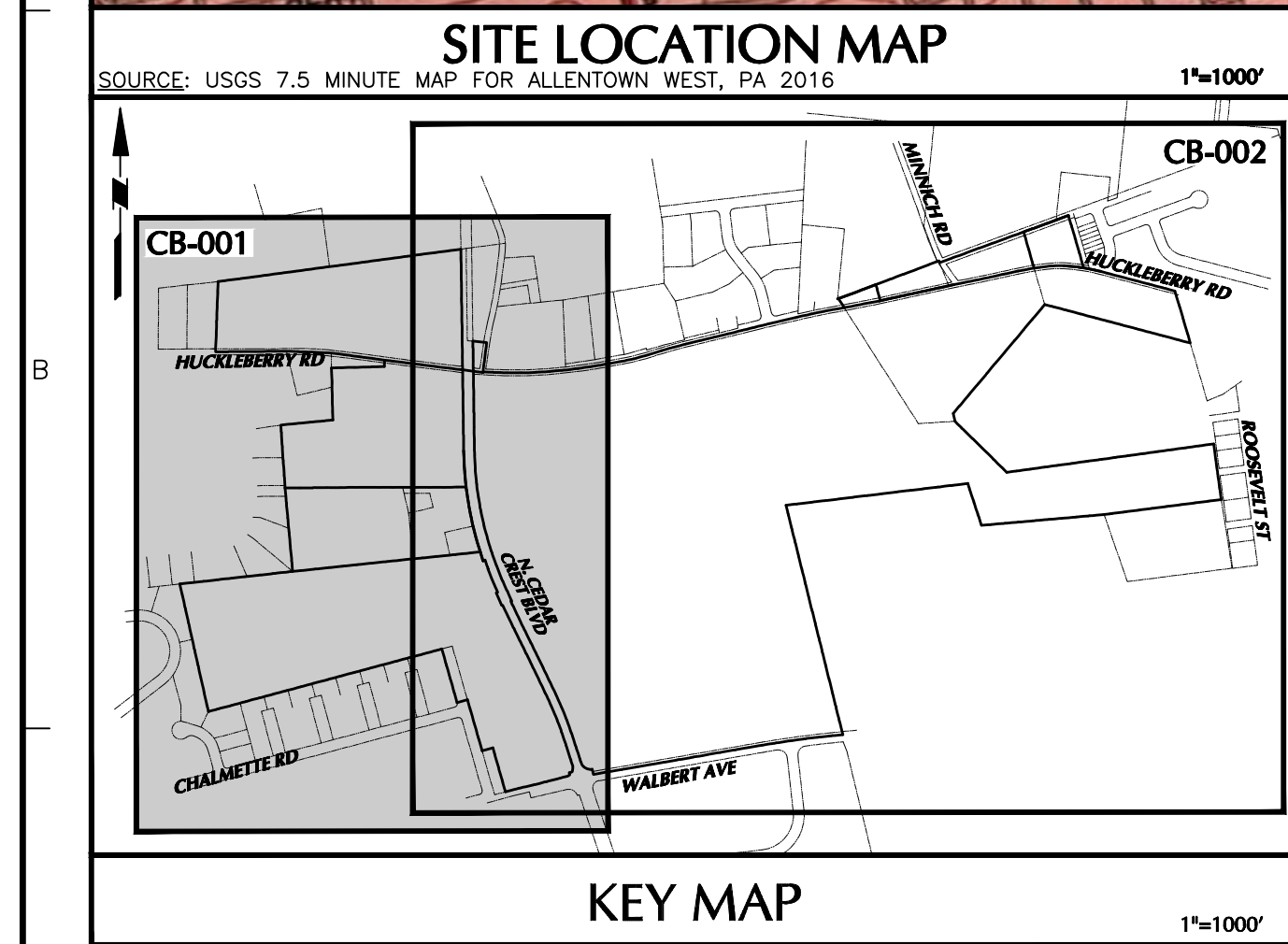
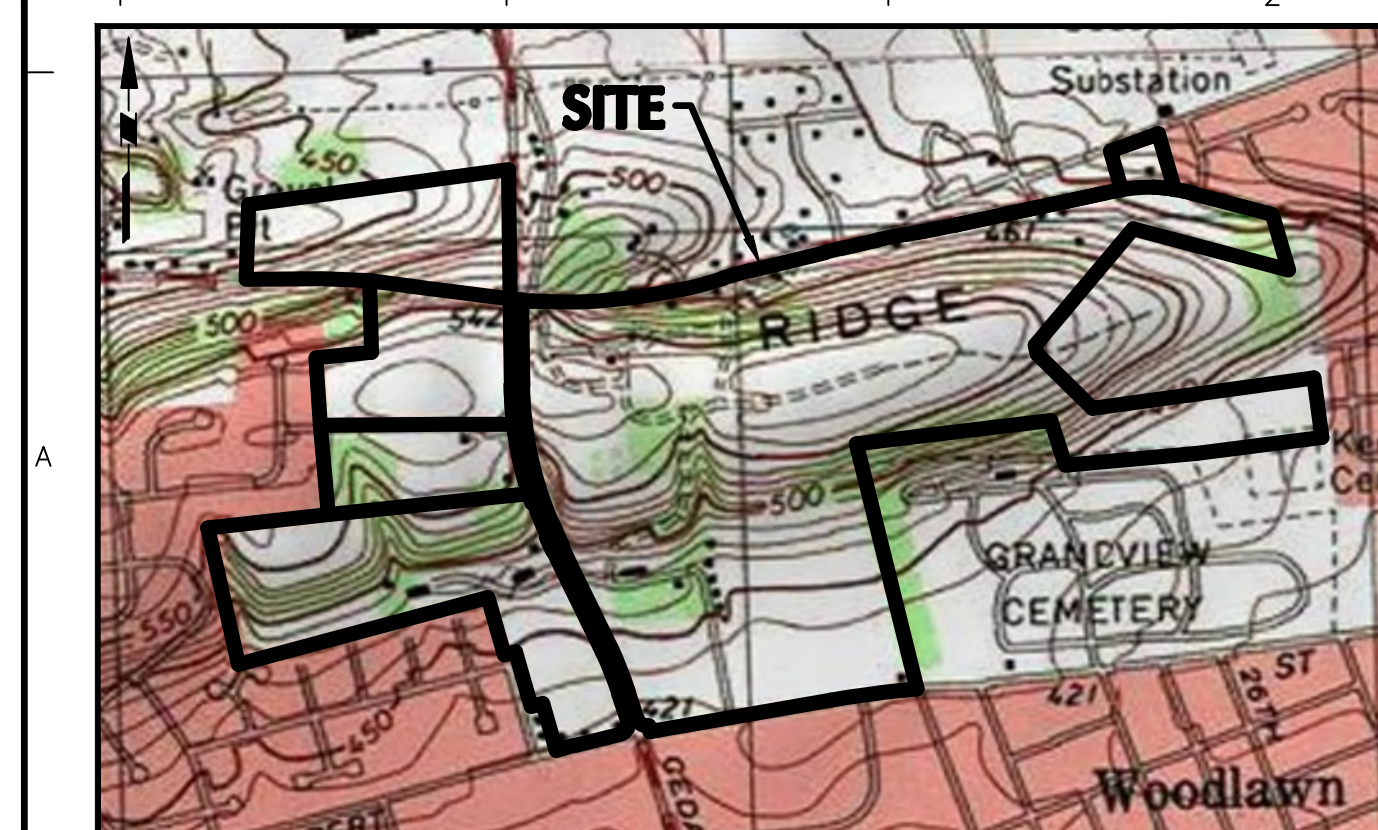
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Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **EXISTING FEATURES PLAN**

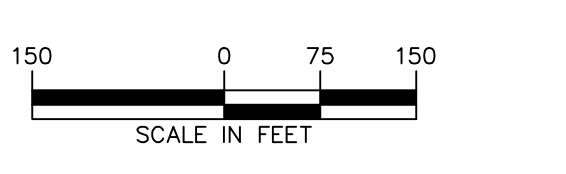
Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____
 Drawing No. **VT-110**
 Sheet 14 of 151

SUBMISSION DATE: SEPTEMBER 23, 2021 PROJECT NO. 240043301 LANSAN



LEGEND	
EXISTING CURB LINE	EXISTING SANITARY SINK MANHOLE
EXISTING FENCE	EXISTING FIRE HYDRANT
EXISTING MONUMENT	EXISTING CATCH BASIN
EXISTING PROPERTY LINE	EXISTING WATER VALVE
PROPOSED BUILDING LINE	EXISTING MANHOLE
PROPOSED LOT LINE (WITH PIN MARKERS)	EXISTING ELECTRIC POLE
PROPOSED LOT LINE (WITHOUT PIN MARKERS)	EXISTING FIRE HYDRANT
NEW CONCRETE MONUMENT	
BUILDING SETBACK LINE	
PROPOSED UTILITY EASEMENT	
STORMWATER SHIP AREA	
CONCRETE SIDEWALK	
SOIL	
RETAINING WALL	
BASH LIMITS	

OWNER/APPLICANT
KAY WALBERT LLC.
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857



CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C100	20.00'	34.17'	97°54'11"	S48°09'32"W	30.17'
C101	20.00'	28.66'	82°05'49"	S41°50'28"E	26.27'
C102	1960.08'	428.22'	12°31'03"	S07°03'05"E	427.37'
C103	1960.08'	205.35'	6°00'10"	S20°37'20"E	205.26'
C104	5779.58'	262.17'	2°35'56"	S24°55'23"E	262.15'
C105	11409.19'	239.79'	1°12'15"	S25°37'13"E	239.78'
C106	1860.08'	227.61'	7°00'40"	S21°30'46"E	227.47'
C107	50.00'	82.87'	94°57'49"	S29°28'33"W	73.71'
C108	1550.00'	53.36'	1°58'20"	S75°58'17"W	53.35'

- GENERAL NOTES:**
- THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 - THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS AS SHOWN HEREIN.
 - SUBJECT PROPERTY CONSISTS OF TAX PARCEL IDENTIFICATION NUMBERS: 548727303984-1, 548726571146-1, 548726323076-1, 548726730450-1, 548726413932-1, 548725503581-1.
 - BOUNDARY SHOWN IS FROM A FIELD SURVEY BY BARRY ISETT AND ASSOCIATES, DATED AUGUST 2, 2017, LAST REVISED JANUARY 9, 2018. CONTOUR LINES SHOWN ARE FROM A SURVEY FLOWN ON APRIL 12, 2014, BY AEROMETRIC AND DRAWINGS DATED JUNE 13, 2014 AND OCTOBER 29, 2015 FROM AEROMETRIC. HORIZONTAL DATUM IS BASED ON THE SURVEY PLAN SET PREPARED BY BARRY ISETT, NAMED 'SURVEY PLAN', DATED 09/29/15, LAST REVISED 04/21/16.
 - VERTICAL DATUM NAVD83.
 - NO CERTIFICATION IS MADE BY THE UNDERSIGNED AS TO THE ACTUAL UNDERGROUND POSITION OF ANY UTILITIES OR TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.
 - IT IS IMPERATIVE THAT UTILITY COMPANIES BE NOTIFIED PRIOR TO ANY EXCAVATION AND/OR CONSTRUCTION CALL 1-800-225-1778 TO ORDER UTILITY MARKINGS.
 - CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITE WORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.
 - THE SUBJECT PROPERTIES LIE WITHIN A ZONE X - OTHER AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; ON THE FLOOD INSURANCE RATE MAPS IDENTIFIED AS COMMUNITY PANEL NO. 231 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 60702023 F AND COMMUNITY PANEL NO. 232 OF 340, EFFECTIVE REVISION DATE JULY 16, 2004 AND MAP NUMBER 4207/0222 F.
 - THIS SITE IS IN THE FOLLOWING ZONING DISTRICTS:
 RR RURAL RESIDENTIAL AND AGRICULTURAL
 RR2 RURAL RESIDENTIAL INNOVATION OVERLAY DISTRICT
 R2 LOW DENSITY RESIDENTIAL INNOVATION OVERLAY DISTRICT
 R4 MEDIUM DENSITY RESIDENTIAL INNOVATION OVERLAY DISTRICT
 - THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE PIN 548727303984-1, 548726571146-1, 548726323076-1, 548726730450-1, 548726413932-1, 548725503581-1 INTO PROPOSED LOT B AND TO DEDICATE RIGHT-OF-WAY OF PIN 548727343134-1 TO SOUTH WHITEWALL TWP. PLEASE REFER TO THE LOT AREA AND LOT CONSOLIDATION AREA TABLES FOUND ON THIS SHEET.
 - THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATIVE TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING, INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF THE PLANNING PROCESS, SUCH AS CLARITY OF TITLE, SUBORDINATION, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHAEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN OVERSEEN OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERSEEN WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA ONLY. THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

LOT AREA TABLE			
EXISTING		PROPOSED	
PARCEL PIN	AREA (AC.)	PARCEL	AREA (AC.)
548727343134-1	15.9785	PROPOSED LOT A	14.4181
		HUCKLEBERRY ROAD R.O.W. AREA 1	1.2527
		CEDAR CREST BLVD. R.O.W. AREA 1	0.3077
TOTAL	15.9785	TOTAL	15.9785

LOT CONSOLIDATION AREA TABLE			
EXISTING		PROPOSED	
PARCEL PIN	AREA (AC.)	PARCEL	AREA (AC.)
548727303984-1	0.4063	PROPOSED LOT B	53.1700
548726571146-1	13.6657	HUCKLEBERRY ROAD R.O.W. AREA 2	0.6607
548726323076-1	6.6854	CEDAR CREST BLVD. R.O.W. AREA 2	0.4032
548726730450-1	0.3138	CEDAR CREST BLVD. R.O.W. AREA 3	0.7772
548726413932-1	2.2555	WALBERT AVE. R.O.W. AREA 1	0.2800
548725503581-1	31.9644		
TOTAL	55.2911	TOTAL	55.2911

SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1986, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

OWNERS CERTIFICATE:
 ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:

 RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OR OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.
 WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.
 _____ MY COMMISSION EXPIRES: _____
 (NOTARY PUBLIC OR OTHER OFFICER)

ENGINEER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
 APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)
 _____ (CHAIRMAN)
 _____ (SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
 APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)
 _____ (CHAIRMAN)
 _____ (SECRETARY)

PLANNER _____ **DATE** _____

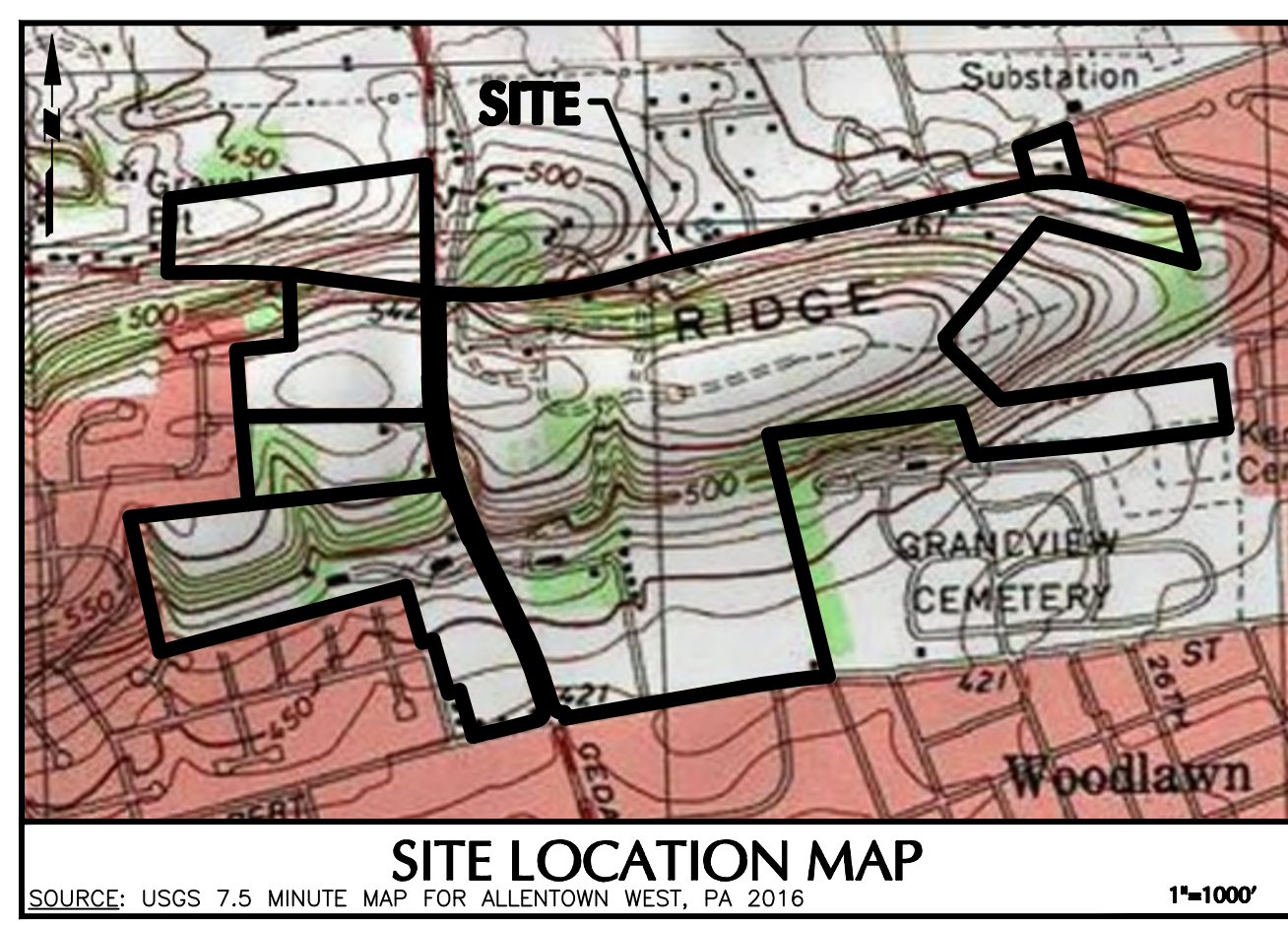
Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	3.
07-15-21	REVISED PER TOWNSHIP COMMENTS	2.
05-19-21	REVISED PER TOWNSHIP COMMENTS	1.

SIGNATURE _____ DATE SIGNED _____
 PROFESSIONAL LAND SURVEYOR PA Lic. No. SU-051088-E



Project RIDGE FARMS	Drawing Title LOT CONSOLIDATION (RECORD PLAN)	Project No. 240043301	Drawing No. CB-001
Date 1/21/2021	Scale 1" = 150'	Drawn By JDM	Checked By JDM
SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY PENNSYLVANIA		Submission Date	Sheet 15 of 151

PROJECT NO. 240043301 SUBMISSION DATE: SEPTEMBER 23, 2021



TOWNSHIP REVIEW NOTE:
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

ENGINEER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

JASON ENGELHARDT
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION
 REVIEWED:
 BY LEHIGH VALLEY PLANNING COMMISSION.

RECORDING INFORMATION:
 RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. _____ PAGE NO. _____ ON _____ 20____

OWNERS CERTIFICATE:
 ON THIS, _____ DAY OF _____ 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:
 RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER
 WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OR OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.
 WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____
 (NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
 I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

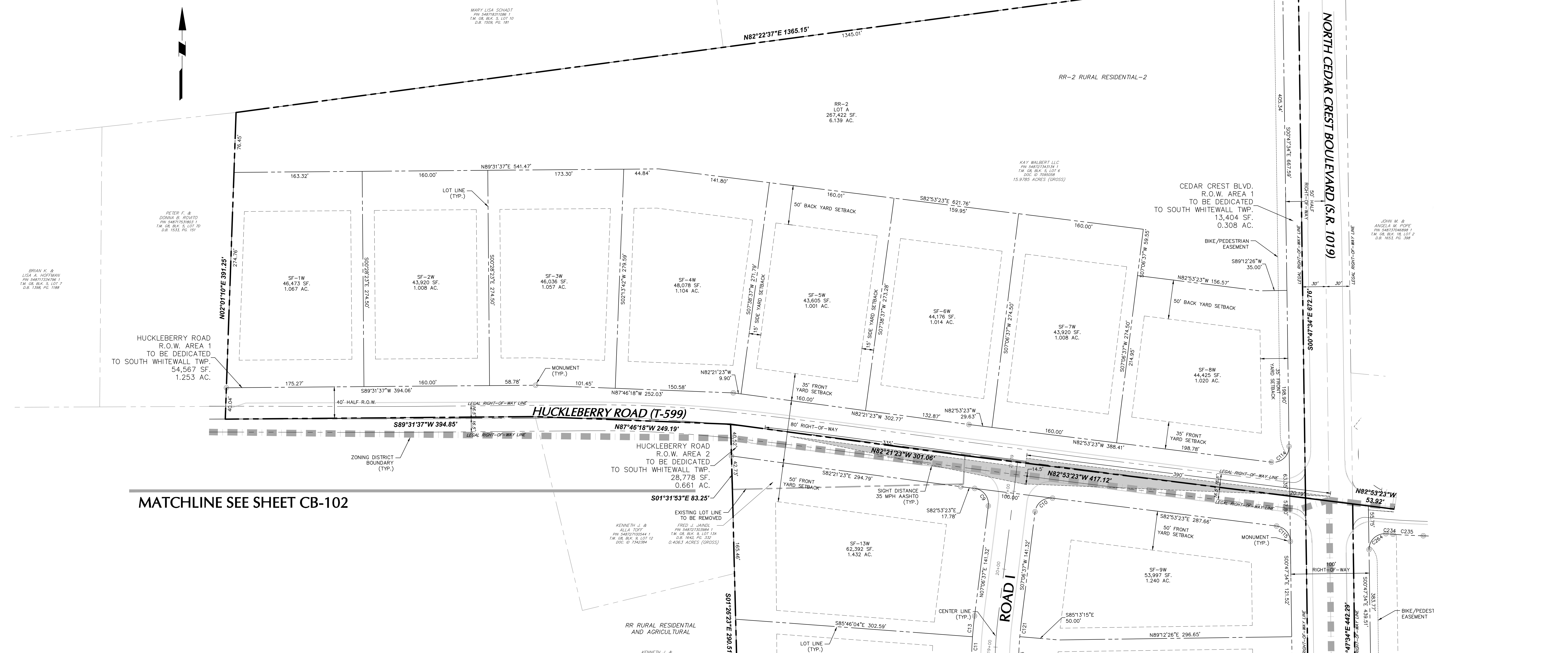
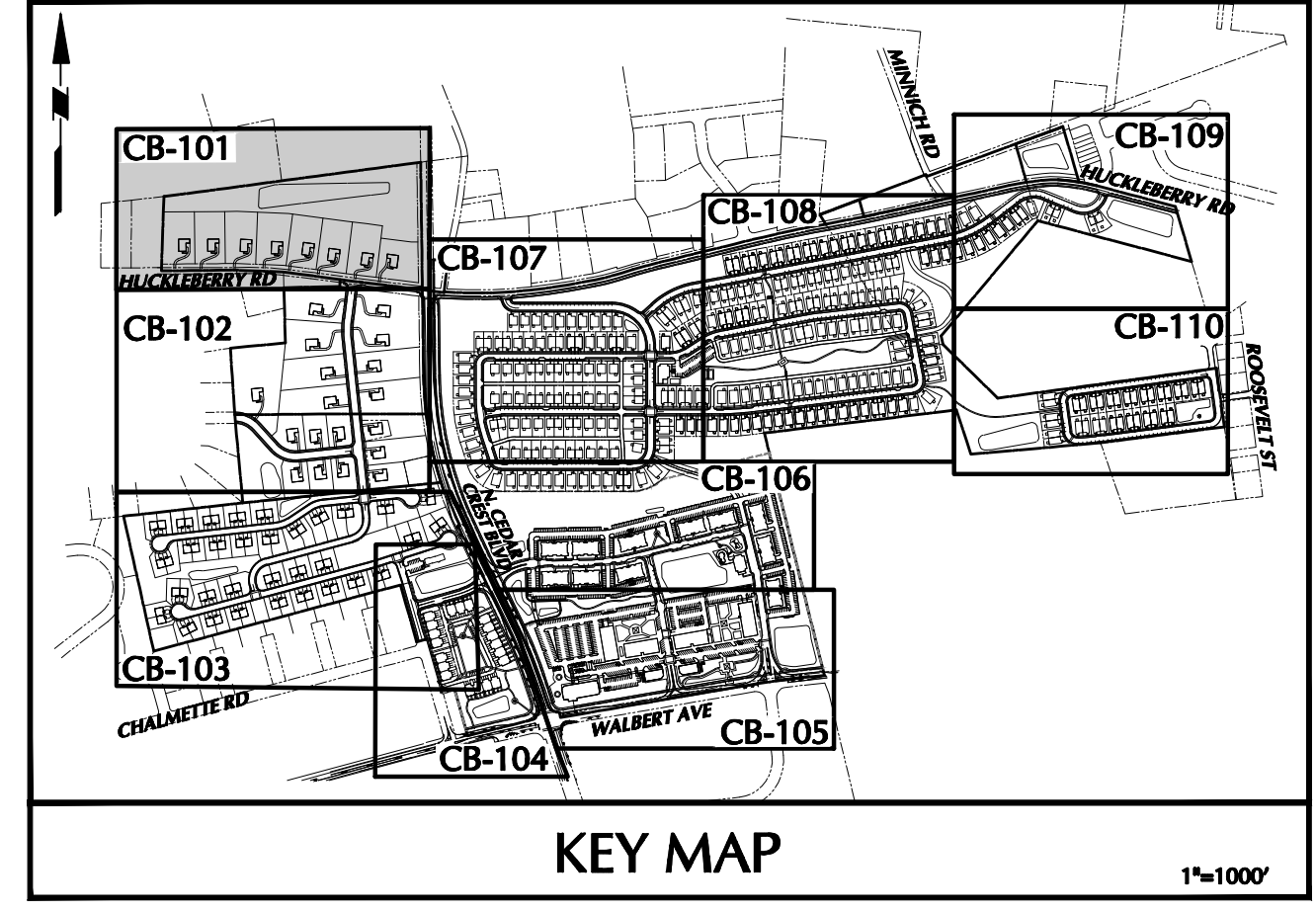
RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
 APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

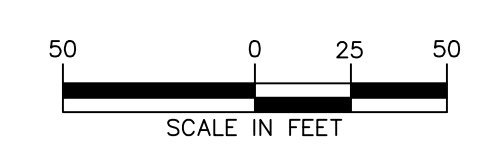
APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
 APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

PLANNER _____ DATE _____
 (TOWNSHIP ENGINEER)

LEGEND	
SITE SYMBOLS	GRADING SYMBOLS
EXISTING CURB LINE	EXISTING CONTOUR
EXISTING FENCE	PROPOSED CONTOUR
EXISTING MONUMENT	EXISTING SPOT ELEVATION
EXISTING PROPERTY LINE	PROPOSED SPOT ELEVATION
PROPOSED BUILDING LINE	SOILS SYMBOLS
PROPERTY LINE	SOIL TYPE
PROPOSED LOT LINE (WITH PIN MARKER)	TREELINE
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	
BUILDING SETBACK LINE	
PROPOSED UTILITY EASEMENT	
STORMWATER BMP AREA	
CONCRETE SIDEWALK	
SIGN	
RETAINING WALL	
BASIN LIMITS	
UTILITY SYMBOLS	EXISTING SANITARY SEWER MANHOLE
EXISTING STORM SEWER	EXISTING FIRE HYDRANT
EXISTING WATER MAIN	EXISTING CATCH BASIN
PROPOSED STORM SEWER	EXISTING WATER VALVE
PROPOSED SANITARY SEWER	EXISTING MANHOLE
PROPOSED SANITARY SEWER FORCE MAIN	EXISTING ELECTRIC POLE
PROPOSED WATER MAIN	
PROPOSED GAS MAIN	
PROPOSED TELEPHONE AND ELECTRIC	
PROPOSED FIRE HYDRANT	



MATCHLINE SEE SHEET CB-102



- NOTES:**
- SEE SHEET CB-100 FOR SUBDIVISION NOTES.
 - SEE SHEET CB-104 FOR CURVE DATA TABLE.

Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

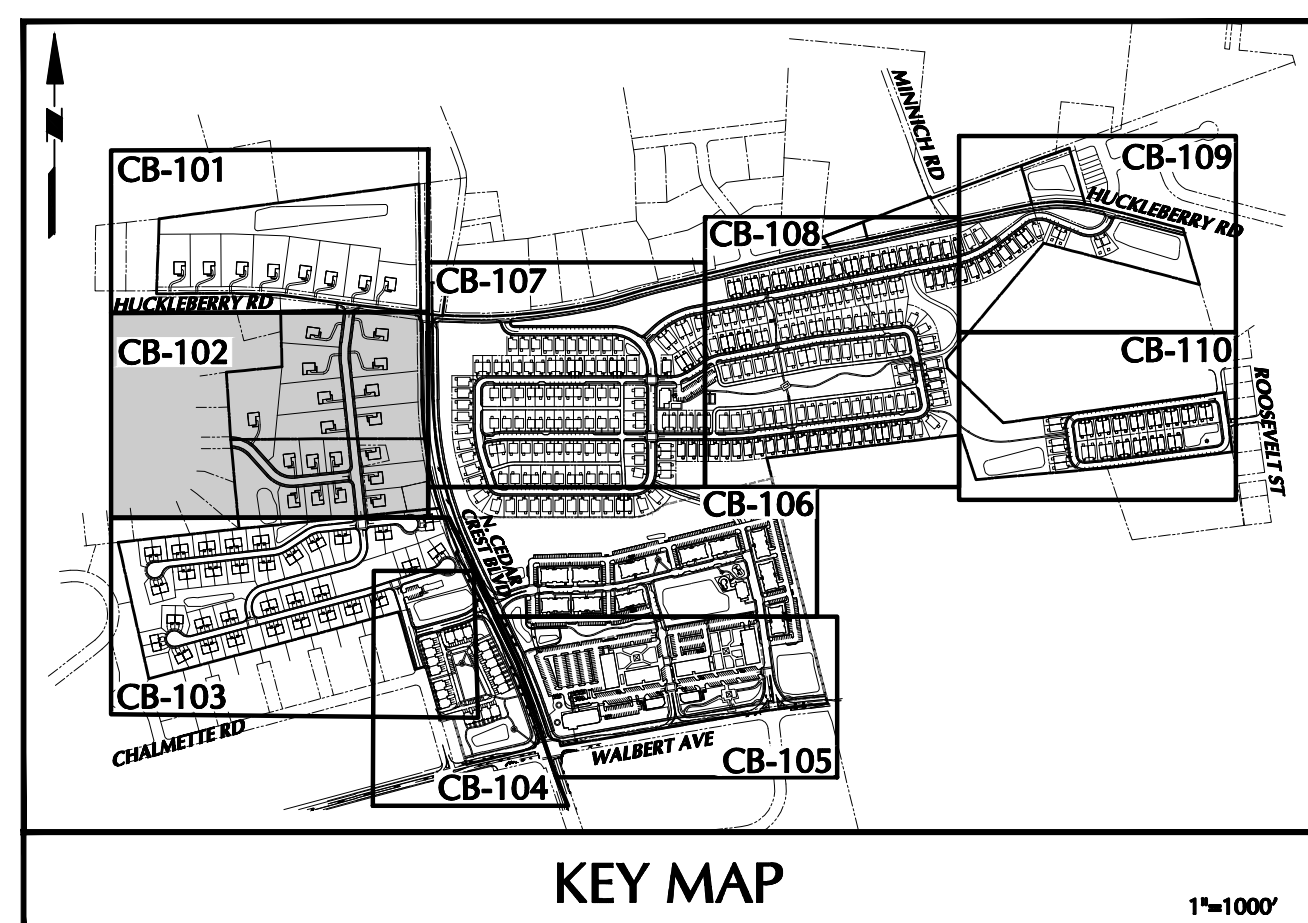
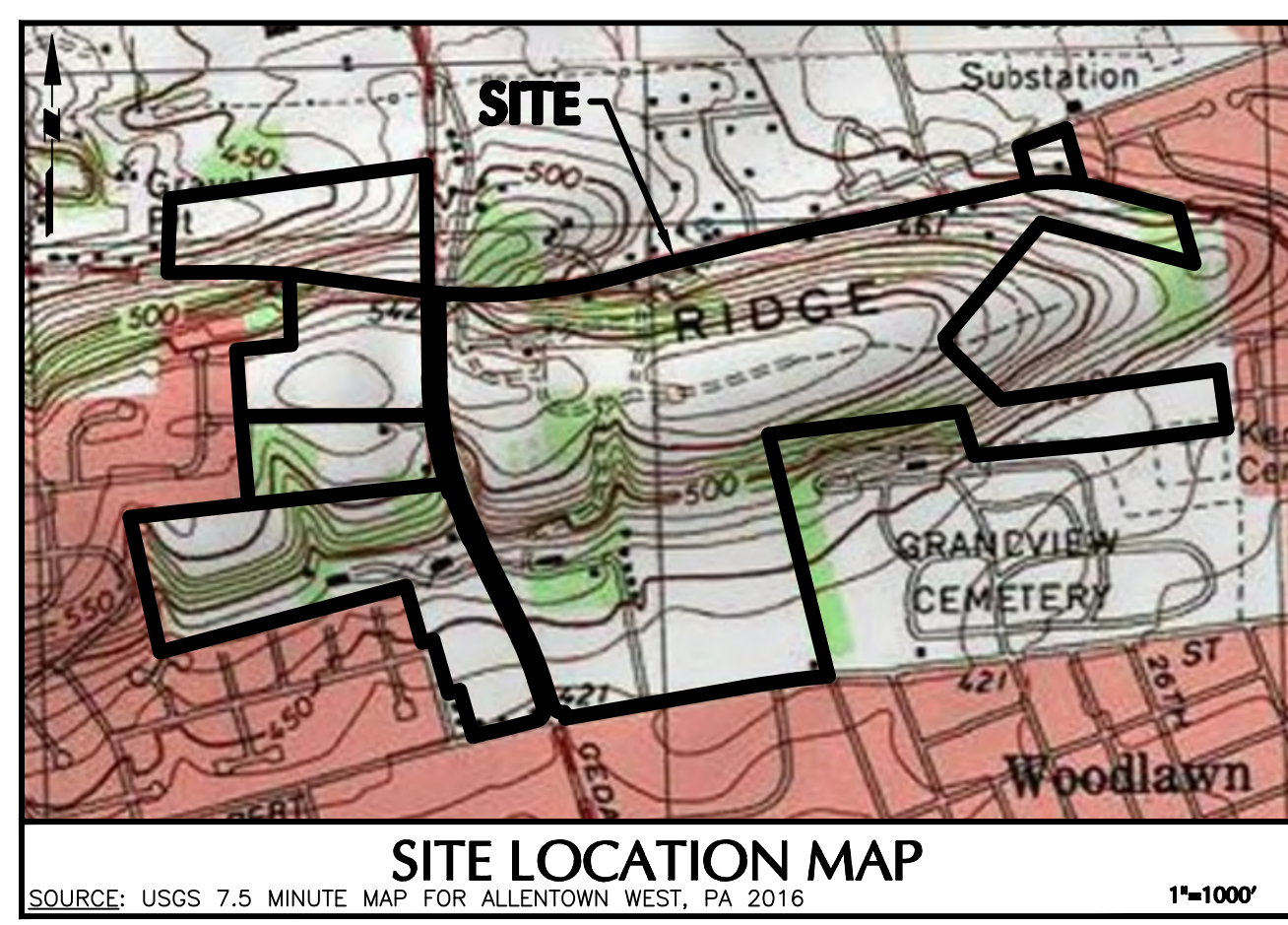
SIGNATURE: *[Signature]*
 PROFESSIONAL LAND SURVEYOR PA Lic. No. SU-051088-E

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610.864.8900 F: 610.864.9501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering and Environmental Services, Inc.
 Langan International LLC
 Collectively known as Langan

Project	RIDGE FARMS	Drawing Title	SUBDIVISION PLAN (RECORD PLAN)	Project No.	240043301	Drawing No.	CB-101
				Date	10/06/2020		
				Scale	1" = 50'		
				Drawn By	JDM	Checked By	ISE
				Submission Date			
							Sheet 18 of 151

OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

SUBMISSION DATE: SEPTEMBER 23, 2021
 PROJECT NO.: 240043301



LEGEND	
SITE SYMBOLS	GRADING SYMBOLS
EXISTING CURB LINE	EXISTING CONTOUR
EXISTING FENCE	PROPOSED CONTOUR
EXISTING MONUMENT	EXISTING SPOT ELEVATION
EXISTING PROPERTY LINE	PROPOSED SPOT ELEVATION
PROPOSED BUILDING LINE	SOILS SYMBOLS
PROPERTY LINE	SOILS BOUNDARY
PROPOSED LOT LINE (WITH PIN MARKER)	SOIL TYPE
PROPOSED LOT LINE (WITH CONCRETE MONUMENTS)	TREELINE
BUILDING SETBACK LINE	
PROPOSED UTILITY EASEMENT	
STORMWATER BMP AREA	
CONCRETE SIDEWALK	
RETAINING WALL	
RASH LIMITS	
UTILITY SYMBOLS	EXISTING SANITARY SEWER MANHOLE
EXISTING STORM SEWER	EXISTING FIRE HYDRANT
EXISTING WATER MAIN	EXISTING CATCH BASIN
PROPOSED STORM SEWER	EXISTING WATER VALVE
PROPOSED SANITARY SEWER	EXISTING MANHOLE
PROPOSED SANITARY SEWER FORCE MAIN	EXISTING ELECTRIC POLE
PROPOSED WATER MAIN	
PROPOSED GAS MAIN	
PROPOSED TELEPHONE AND ELECTRIC	
PROPOSED FIRE HYDRANT	

TOWNSHIP REVIEW NOTE:
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING, INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING BUT NOT LIMITED TO SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHAEOLOGICAL ISSUES OR SUCH OTHER ISSUES AS APPROPRIATE THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND. HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS COMMISSIONED BY THE APPLICANT AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA ONLY. THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEY SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998. THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

ENGINEER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

JASON ENGELHARDT
 PROFESSIONAL ENGINEER PA LIC. NO. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION
 REVIEWED BY LEHIGH VALLEY PLANNING COMMISSION

RECORDING INFORMATION:
 RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. _____ PAGE NO. _____ ON _____ 20____

OWNER'S CERTIFICATE:
 ON THIS, THE _____ DAY OF _____ 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:

RIK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
 I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAD, OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAN, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RIK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
 APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR) _____ (CHAIRMAN) _____ (SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
 APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR) _____ (CHAIRMAN) _____ (SECRETARY)

PLANNER _____ DATE _____ (TOWNSHIP ENGINEER)

MATCHLINE SEE SHEET CB-103



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

SHAUN T. HIGGS
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

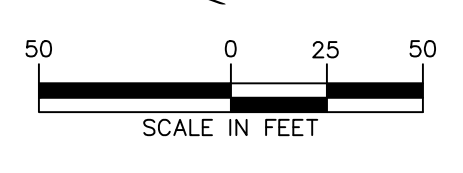
LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610.861.8900 F: 610.861.8501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY
 PENNSYLVANIA

Drawing Title: **SUBDIVISION PLAN (RECORD PLAN)**

Project No. **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____
 Drawing No. **CB-102**
 Sheet 19 of 151

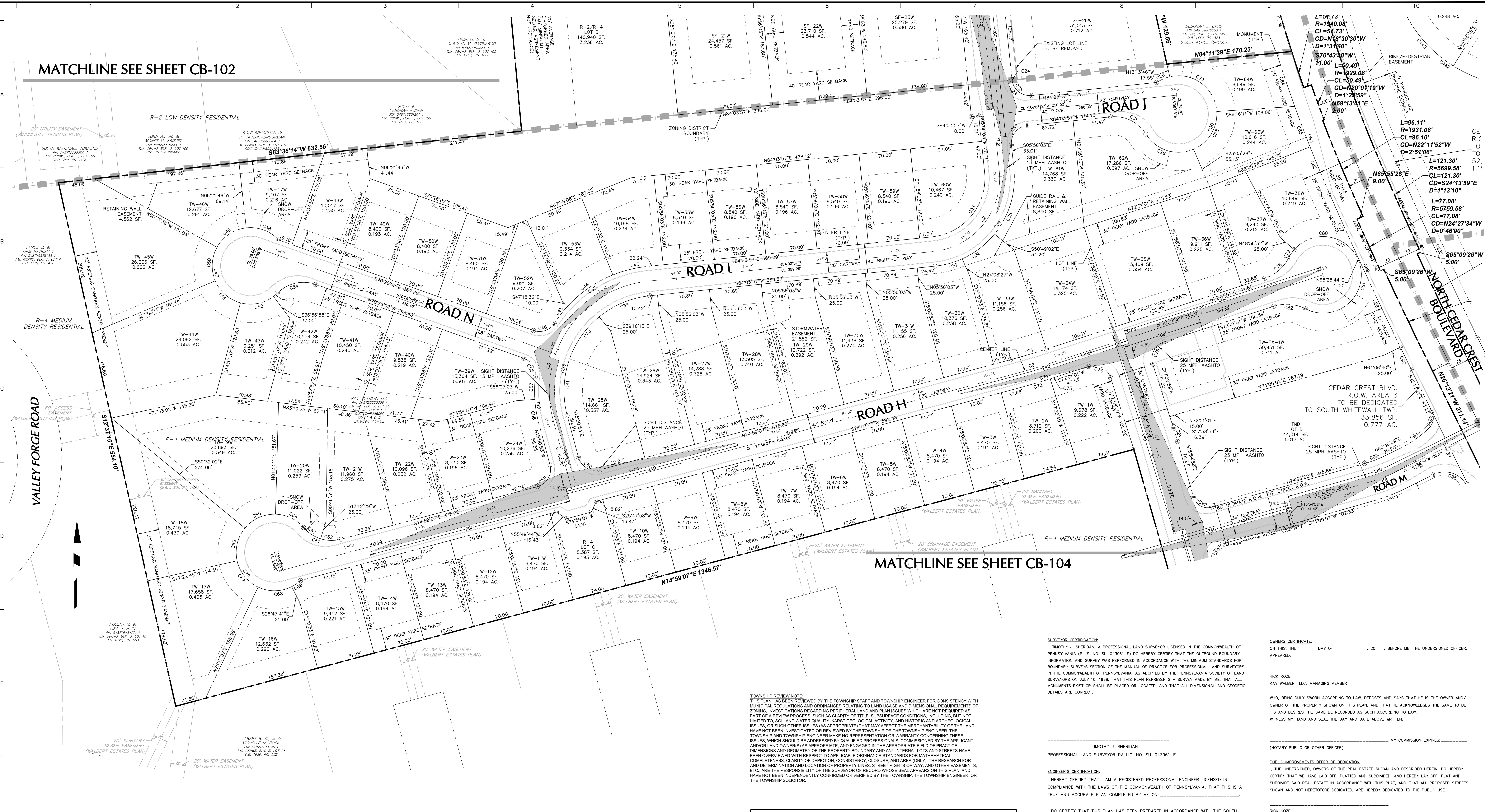
- NOTES:**
- SEE SHEET CB-100 FOR SUBDIVISION NOTES.
 - SEE SHEET CB-104 FOR CURVE DATA TABLE.



OWNER/APPLICANT
KAY WALBERT LLC
 ATTN: RIK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

SUBMISSION DATE: SEPTEMBER 23, 2021 PROJECT NO. 240043301 SHEET 19 OF 151

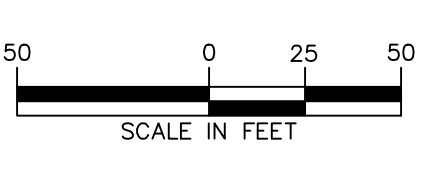
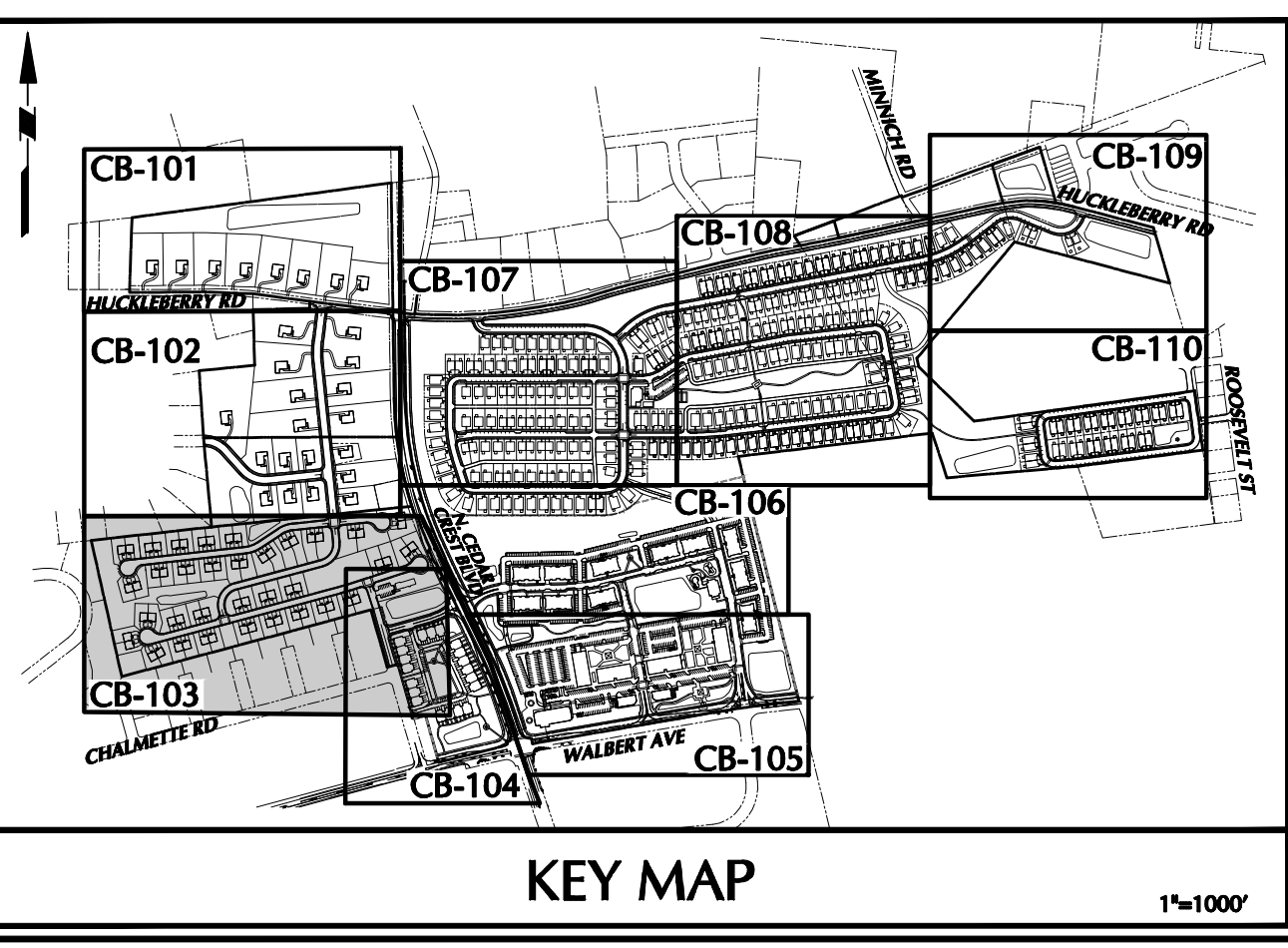
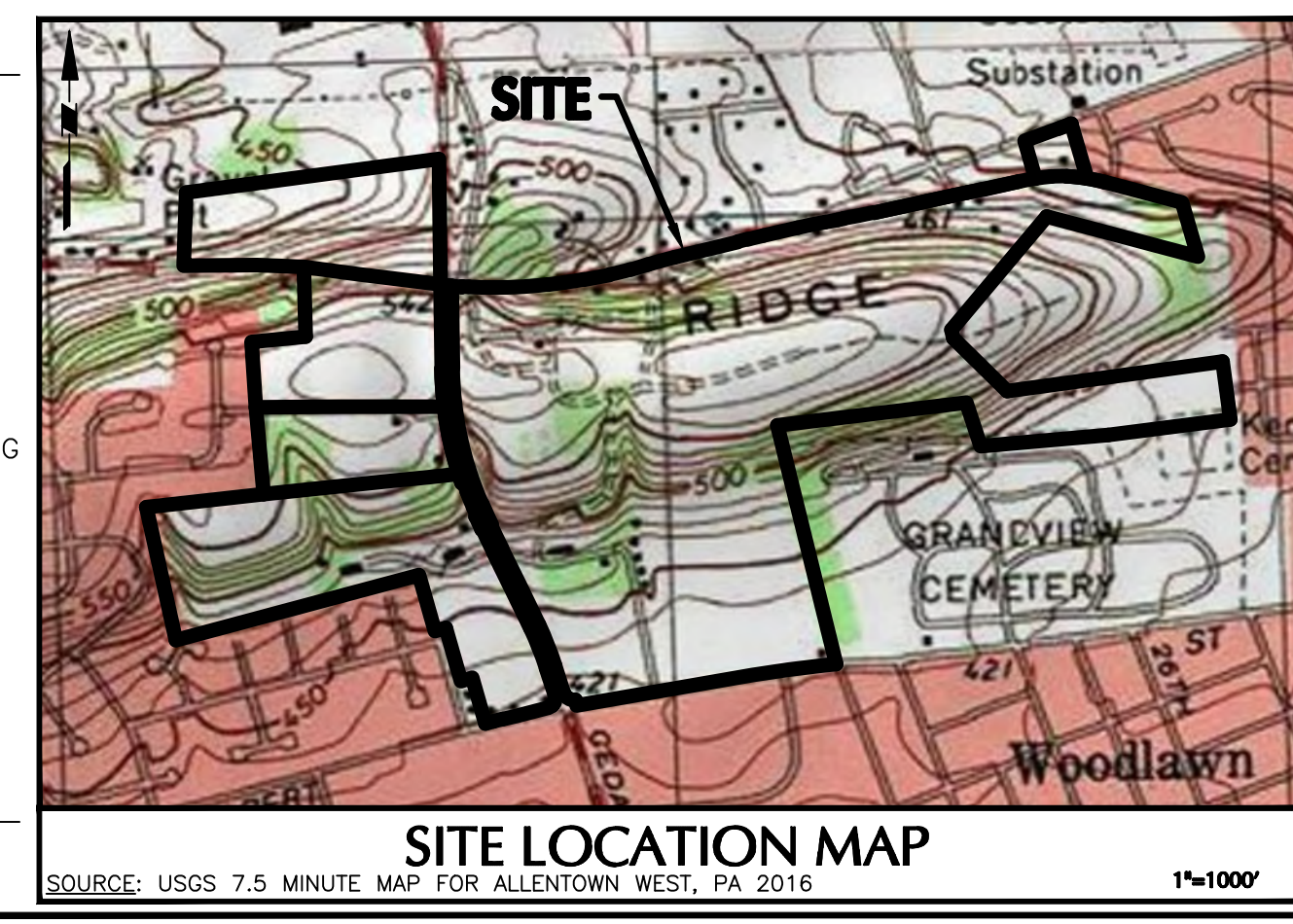
MATCHLINE SEE SHEET CB-102



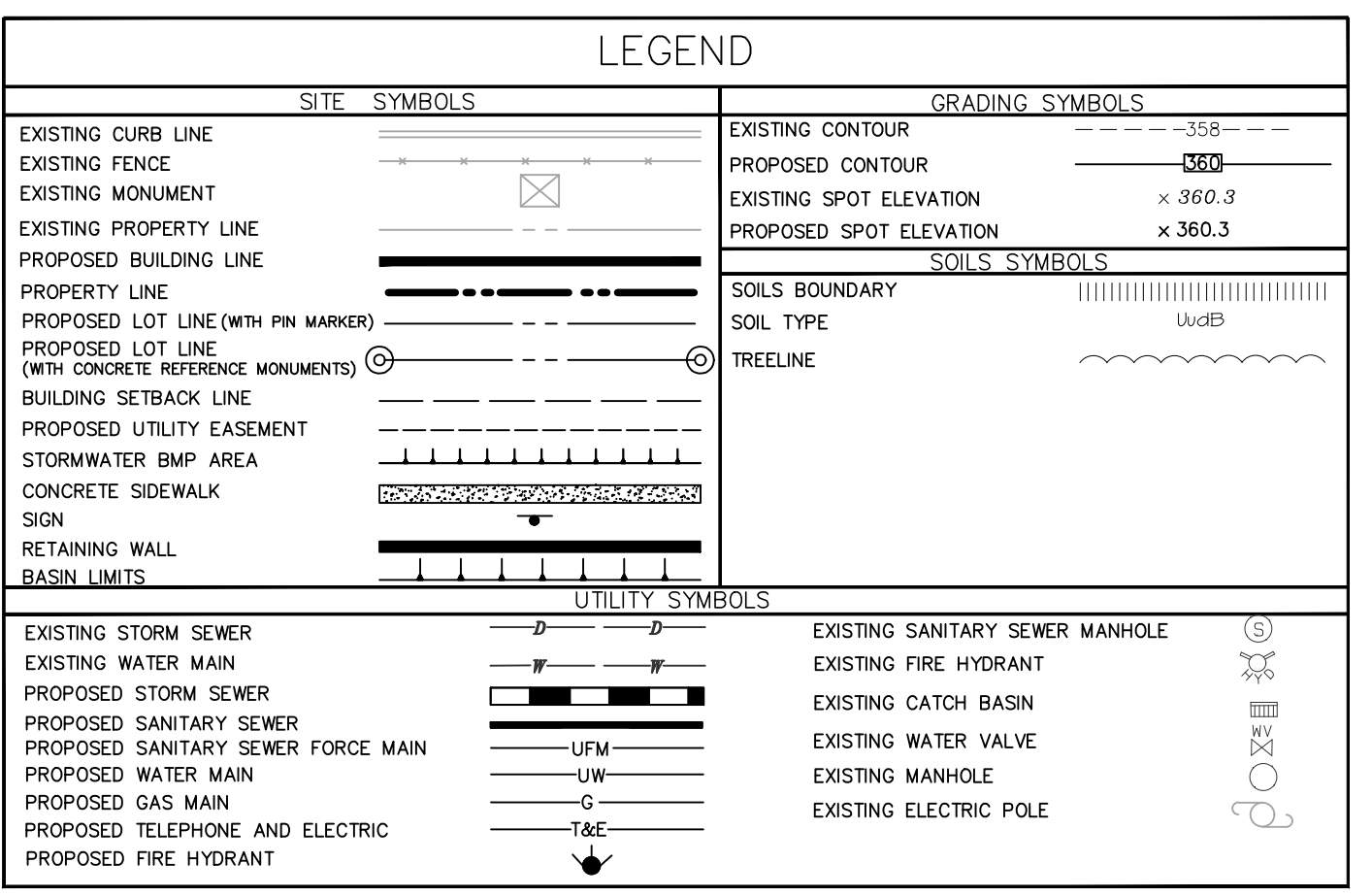
MATCHLINE SEE SHEET CB-104

OWNER/APPLICANT
KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

- NOTES:**
- SEE SHEET CB-100 FOR SUBDIVISION NOTES.
 - SEE SHEET CB-104 FOR CURVE DATA TABLE.



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.



SIGNATURE: *[Signature]*
 PROFESSIONAL LAND SURVEYOR PA Lic. No. SU-051088-E
 DATE SIGNED: _____



SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEY SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998. THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEOMETRIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN
 PROFESSIONAL LAND SURVEYOR PA Lic. No. SU-043961-E

ENGINEER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN PENNSYLVANIA WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

JASON ENGELHARDT
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION:
 REVIEWED: _____
 BY LEHIGH VALLEY PLANNING COMMISSION.

PLANNER: _____ DATE: _____

RECORDING INFORMATION:
 RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. _____ PAGE NO. _____ ON _____ 20____.

OWNERS CERTIFICATE:
 ON THIS, _____ DAY OF _____ 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:
 RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.
 WITNESS MY HAND AND SEAL, THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

(NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
 I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAD OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAN, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
 APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION
 (MONTH DAY YEAR)

 (CHAIRMAN)

 (SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
 APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP.
 (MONTH DAY YEAR)

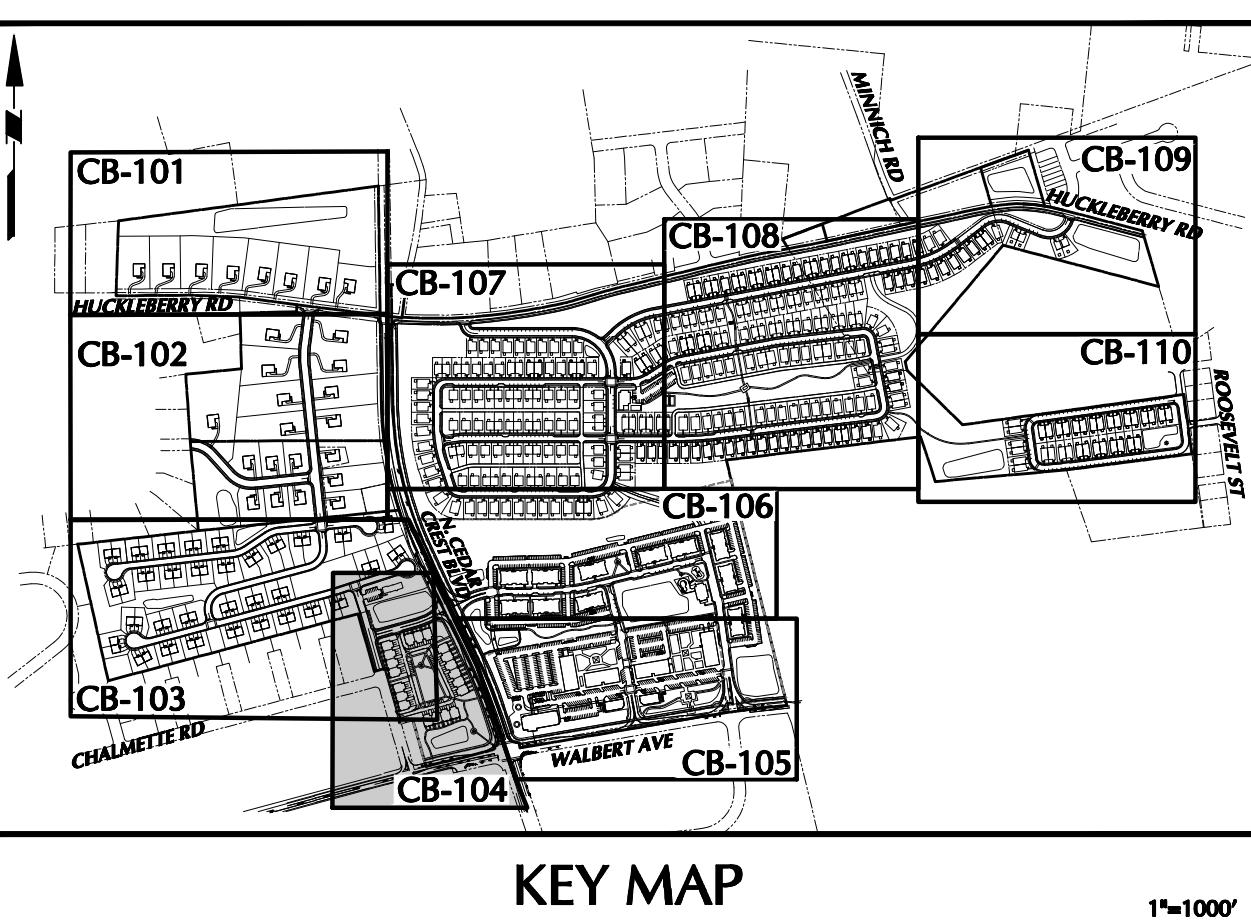
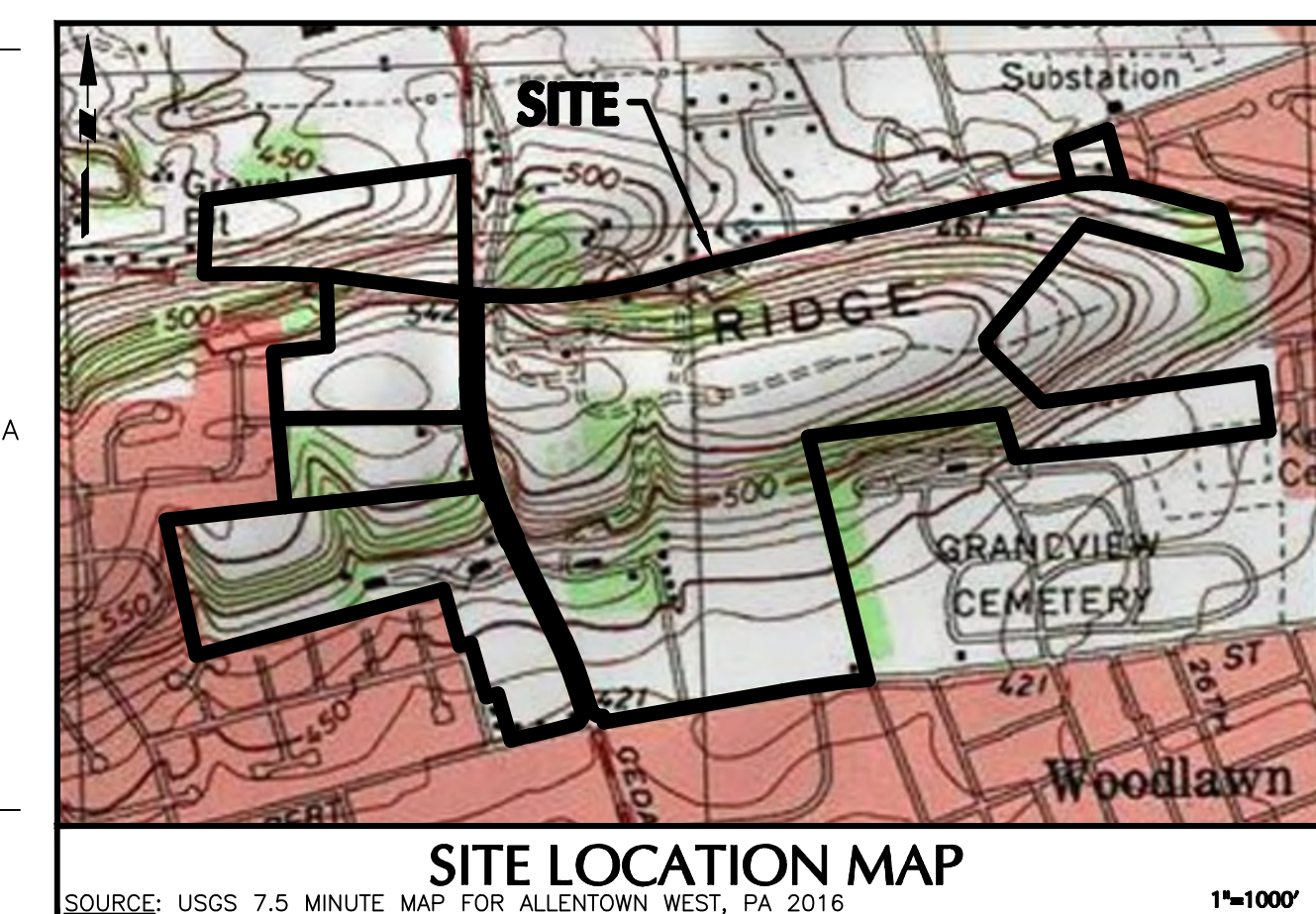
 (CHAIRMAN)

 (SECRETARY)

 (TOWNSHIP ENGINEER)

Project RIDGE FARMS	Drawing Title SUBDIVISION PLAN (RECORD PLAN)	Project No. 240043301	Drawing No. CB-103
SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY	PENNSYLVANIA	Date 10/06/2020	Scale 1" = 50'
Drawn By JDM	Checked By ISE	Submission Date	Sheet 20 of 151

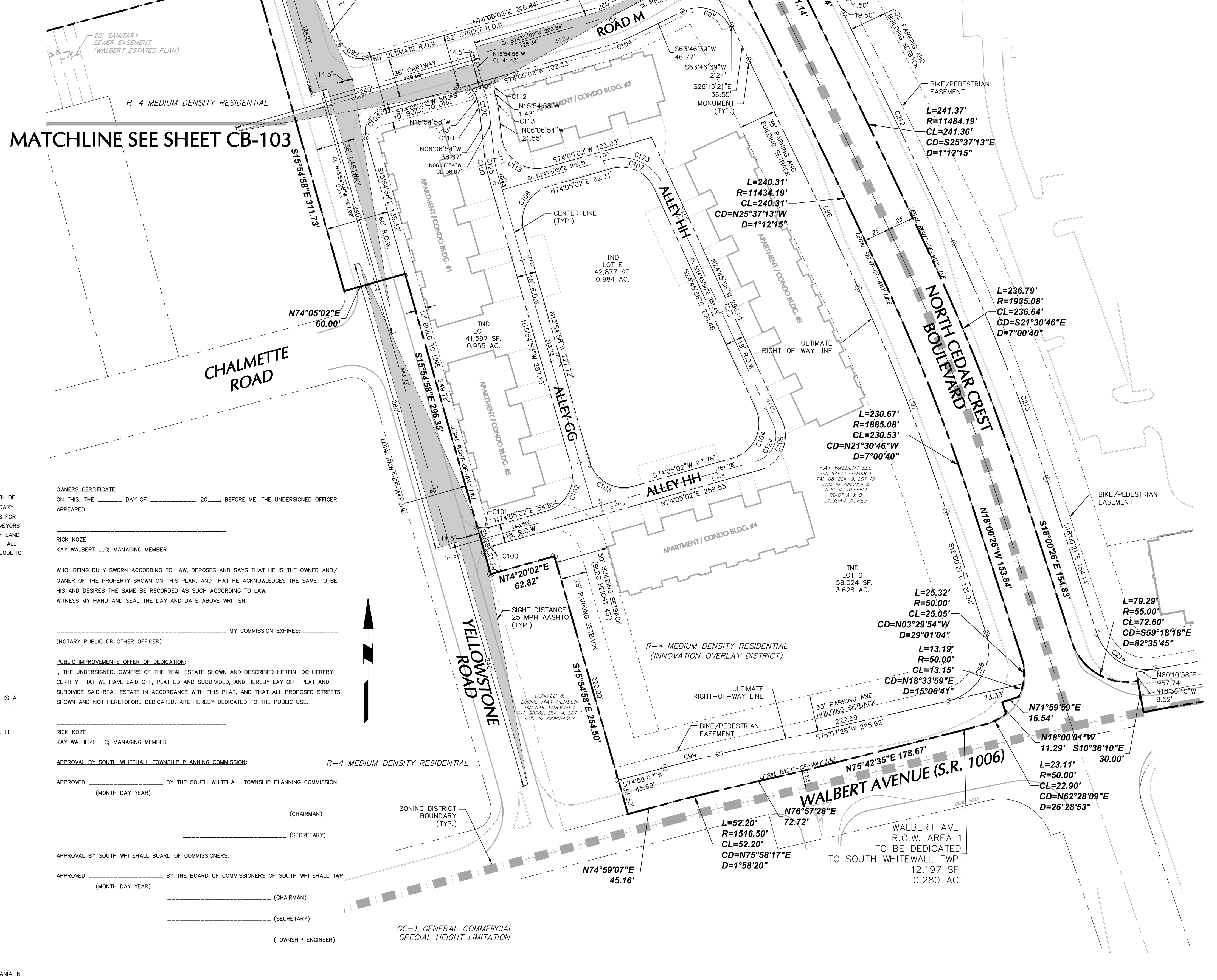
Filename: c:\mangan-pw-01\m24043301-CB101-01.DWG Date: 9/23/2021 Time: 12:07 User: drooyer Style: Tbls_Langan.dwg Layout: CB-103



CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Rows C1 through C65.

CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Rows C66 through C126.

TOWNSHIP REVIEW NOTE: THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES...



SURVEYOR CERTIFICATION: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA... OWNERS CERTIFICATE: ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED: RICK KOZE, KAY WALBERT LLC, MANAGING MEMBER...

PUBLIC IMPROVEMENTS OFFER OF DEDICATION: I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE Laid OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAN, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

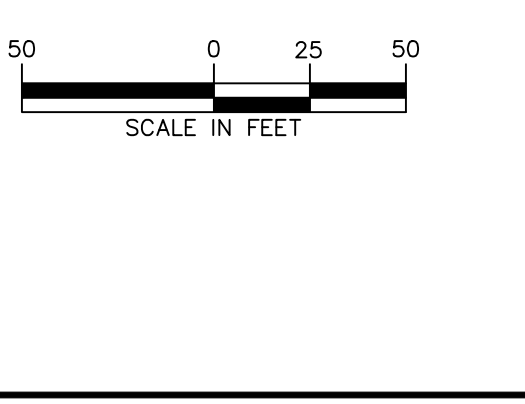
APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION: APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR) _____ (CHAIRMAN) _____ (SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS: APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR) _____ (CHAIRMAN) _____ (SECRETARY) _____ (TOWNSHIP ENGINEER)

LEGEND table defining symbols for various features: EXISTING CURB LINE, PROPOSED CURB LINE, EXISTING FENCE, PROPOSED FENCE, EXISTING PROPERTY LINE, PROPOSED PROPERTY LINE, PROPERTY LINE, PROPOSED LOT LINE WITH PIN MARKERS, PROPOSED LOT LINE WITH CONCRETE REFERENCE MONUMENTS, BUILDING SETBACK LINE, PROPOSED UTILITY EASEMENT, STORMWATER BMP AREA, CONCRETE SIDEWALK, SOIL, RETAINING WALL, BARRIERS, EXISTING STORM SEWER, EXISTING WATER MAIN, PROPOSED STORM SEWER, PROPOSED WATER MAIN, PROPOSED SANITARY SEWER, PROPOSED SANITARY SEWER FORCE MAIN, PROPOSED GAS MAIN, PROPOSED TELEPHONE AND ELECTRIC, PROPOSED FIRE HYDRANT, EXISTING FIRE HYDRANT, EXISTING CATCH BASIN, EXISTING WATER VALVE, EXISTING MANHOLE, EXISTING ELECTRIC POLE.

OWNER/APPLICANT: KAY WALBERT LLC, ATTN: RICK KOZE, 5930 HAMILTON BLVD., SUITE 10, ALLENTOWN, PA 18106, 610-395-6857

- NOTES: 1. SEE SHEET CB-100 FOR SUBDIVISION NOTES. 2. SEE SHEET CB-104 FOR CURVE DATA TABLE.

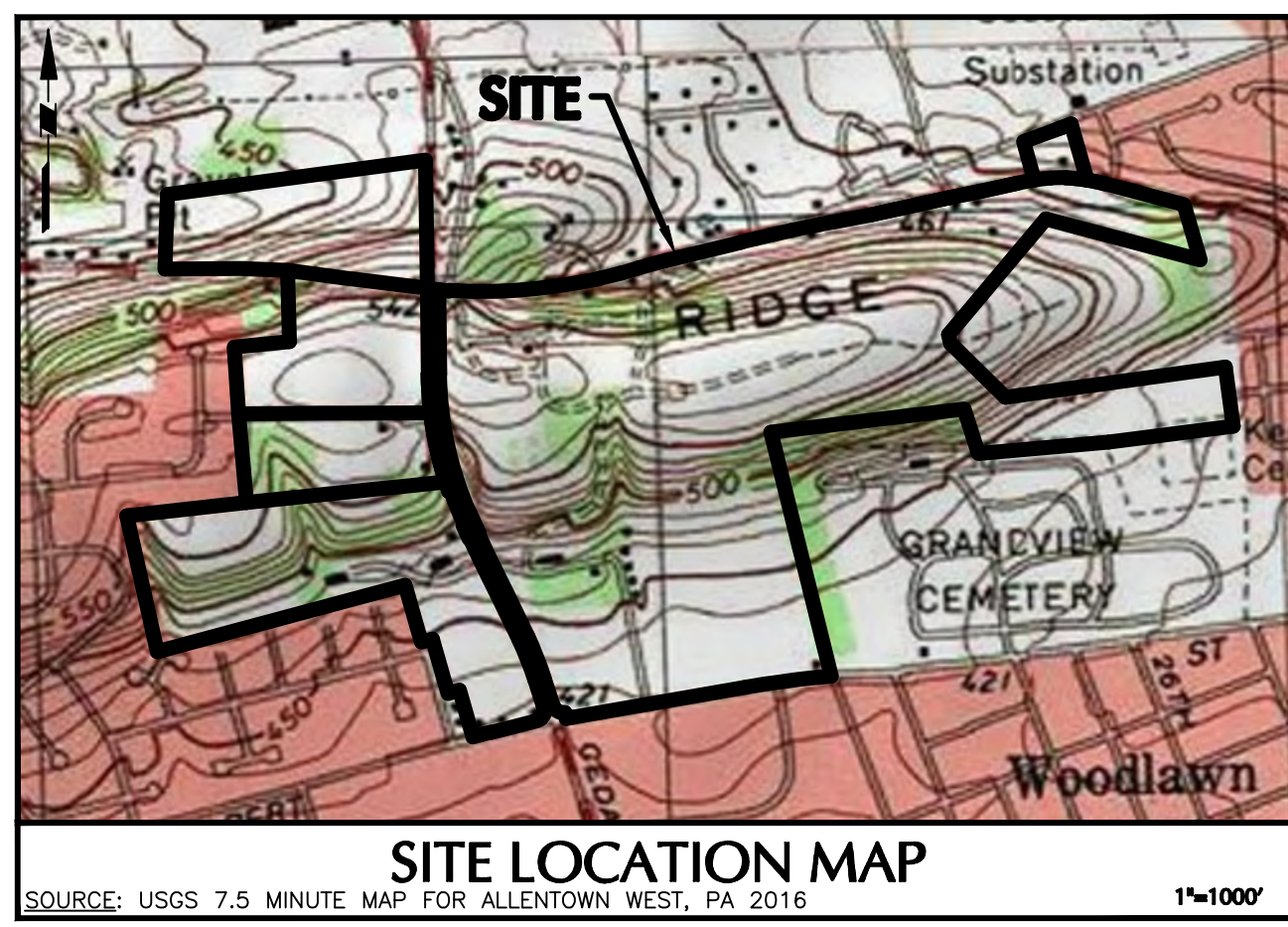


REVISIONS table with columns: Date, Description, No. Rows 09-23-21 through 01-21-21.

SIGNATURE: [Signature], DATE SIGNED: _____, PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

LANGAN logo and address: One West Broad Street, Suite 200, Bethlehem, PA 18018, T: 610-861-8800, F: 610-861-8501, www.langan.com

Project: RIDGE FARMS, Drawing Title: SUBDIVISION PLAN (RECORD PLAN), Project No. 240043301, Date 10/06/2020, Scale 1"=50', Drawing No. CB-104, Sheet 21 of 151



SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYING SET FORTH IN THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

ENGINEER'S CERTIFICATION:
 I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____, 20____.

JASON ENGELHARDT
 PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION:
 REVIEWED: _____ (CHAIRMAN)
 BY LEHIGH VALLEY PLANNING COMMISSION: _____ (SECRETARY)
 PLANNER: _____ DATE: _____ (TOWNSHIP ENGINEER)

RECORDING INFORMATION:
 RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. _____ PAGE NO. _____ ON _____, 20____.

OWNERS CERTIFICATE:
 ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:
 RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.
 WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

_____ MY COMMISSION EXPIRES: _____
 (NOTARY PUBLIC OR OTHER OFFICER)

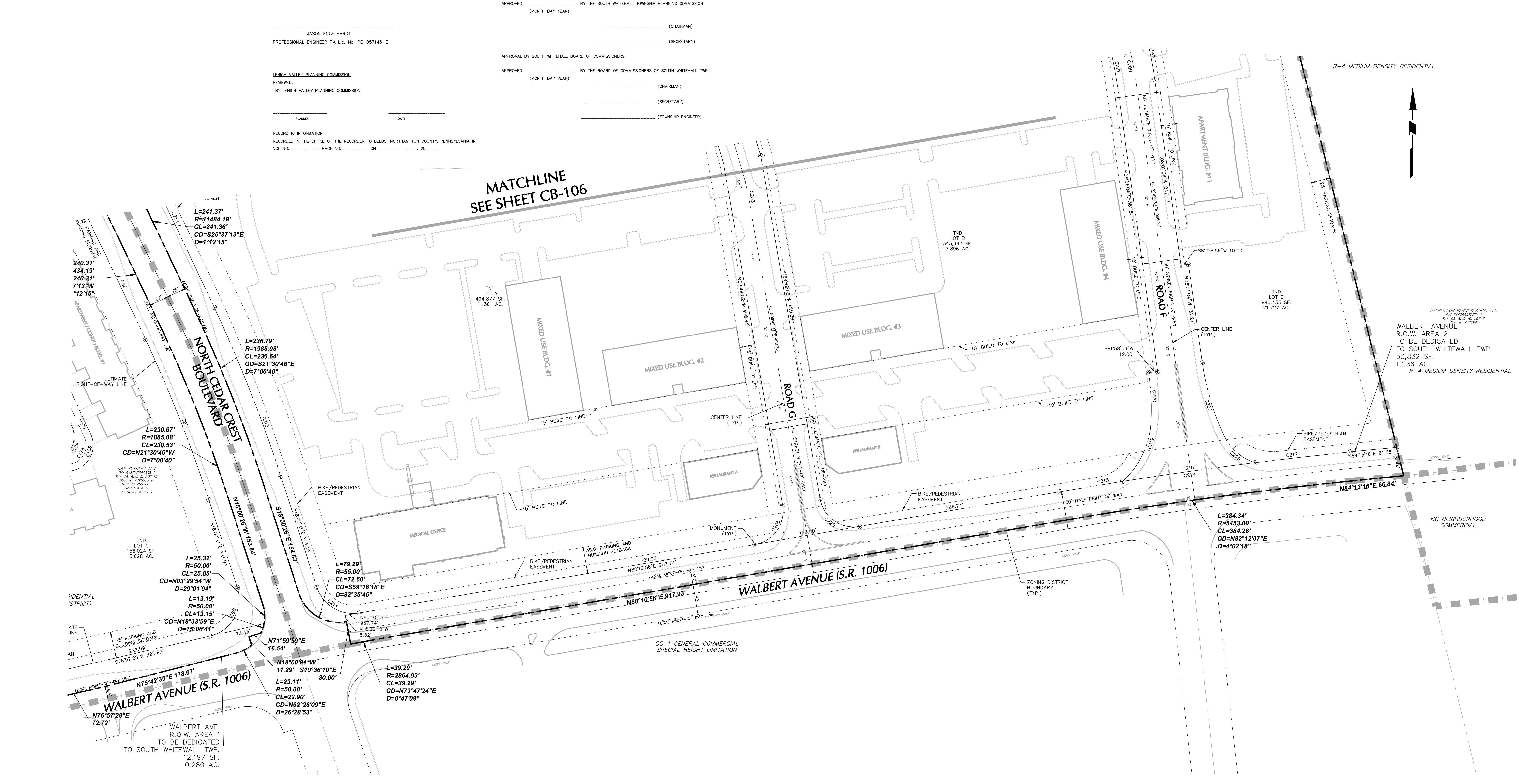
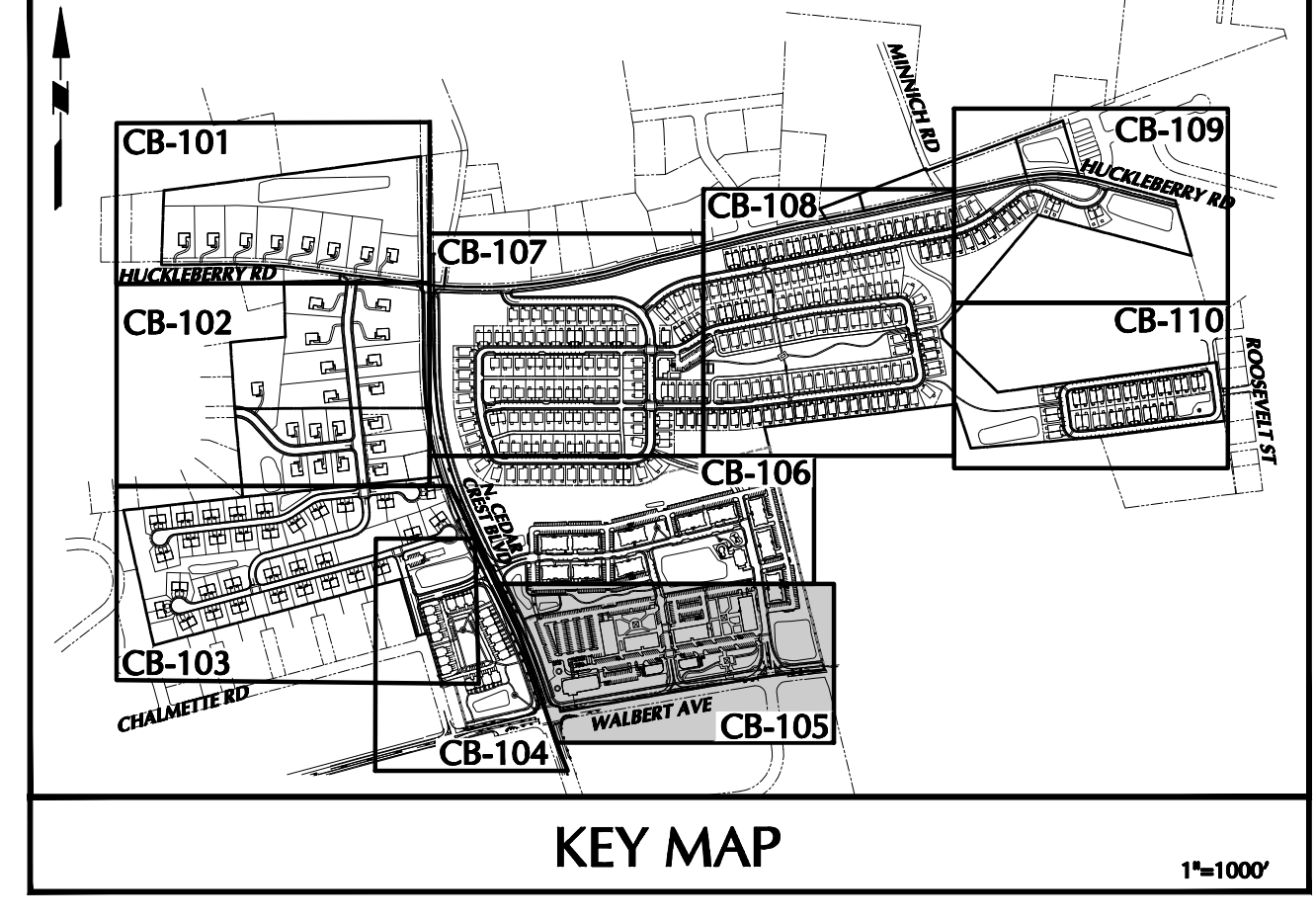
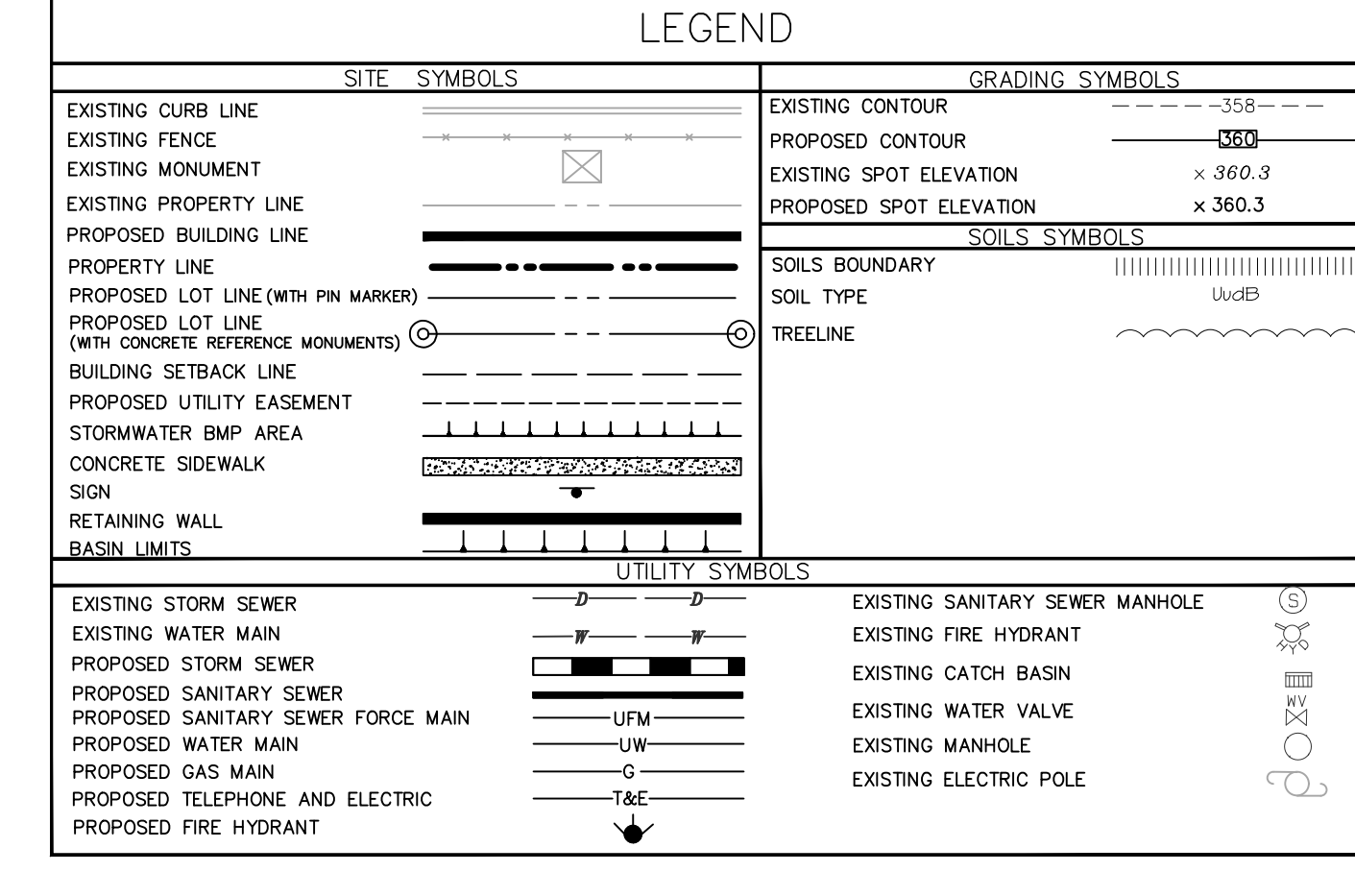
PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
 I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAD OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
 APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
 APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

TOWNSHIP REVIEW NOTE:
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA ONLY. THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.



OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

NOTES:
 1. SEE SHEET CB-100 FOR SUBDIVISION NOTES.
 2. SEE SHEET CB-109 FOR CURVE DATA TABLES.



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

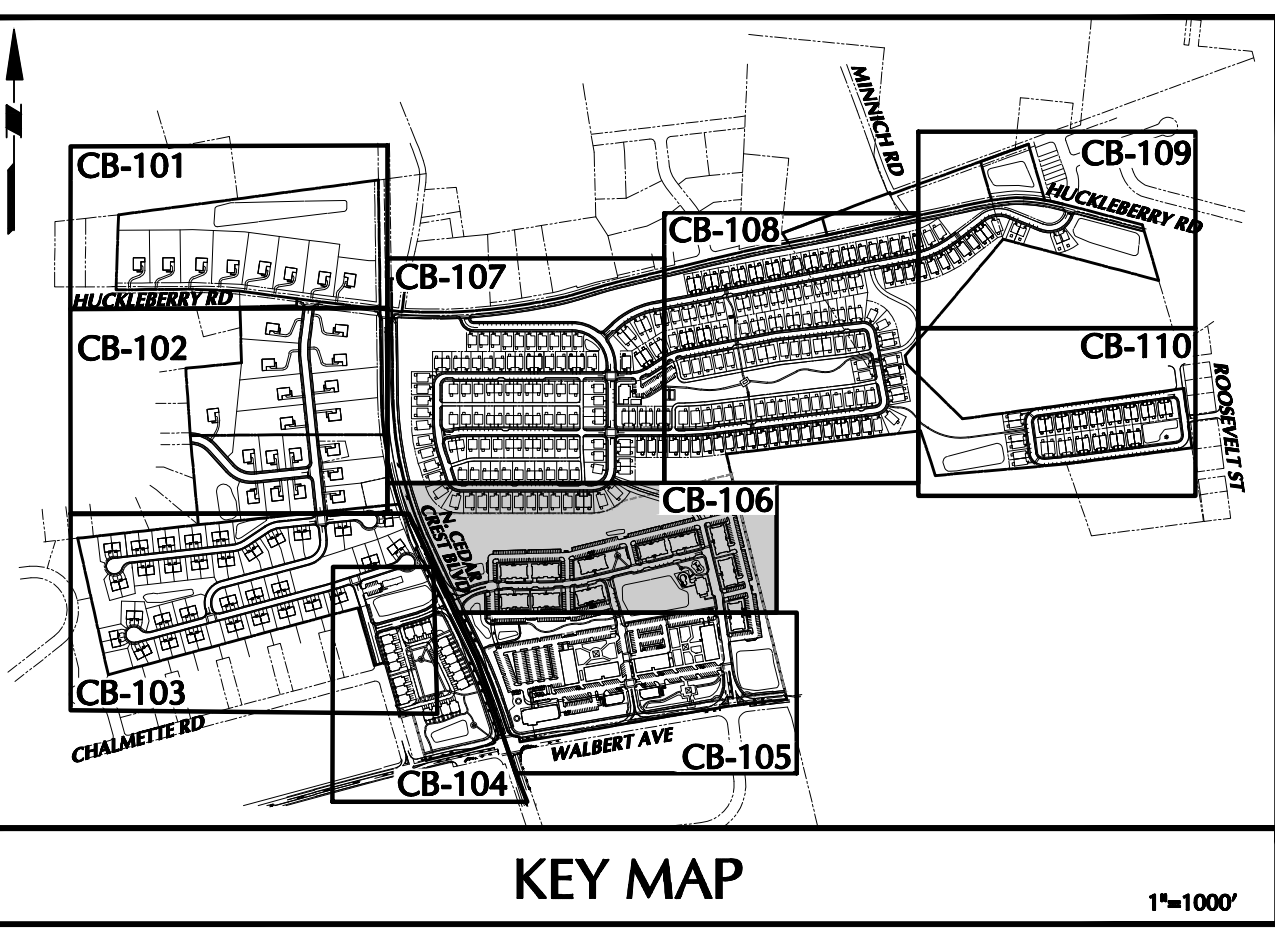
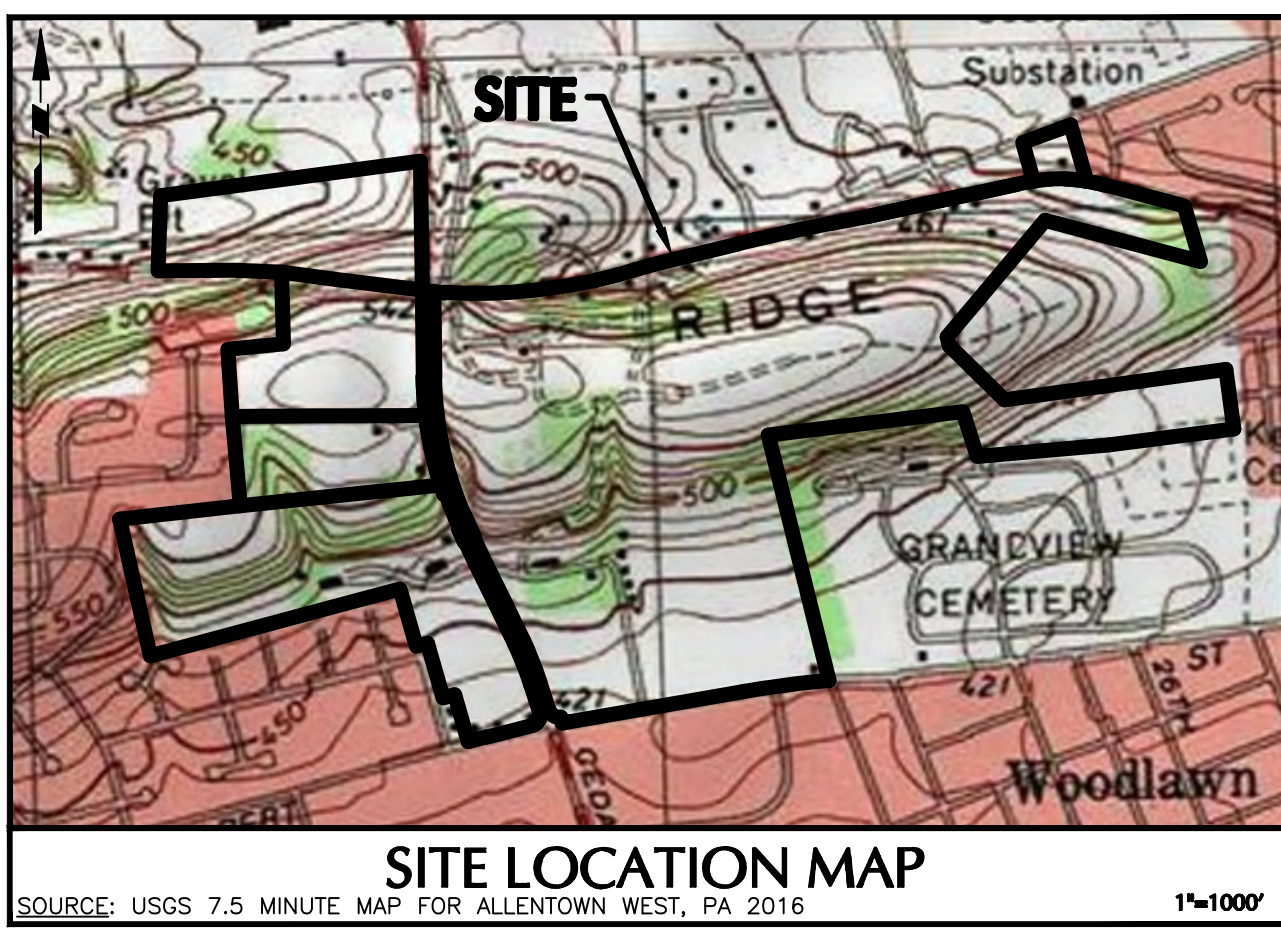
SIGNATURE: _____ DATE SIGNED: _____
 PROFESSIONAL LAND SURVEYOR PA Lic. No. SU-051088-E

LANGAN
 One West Broad Street, Suite 200, Bethlehem, PA 18018
 T: 610-864-8900 F: 610-864-8501 www.langan.com
 Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
 Langan Engineering and Environmental Services, Inc.
 Langan GI, Inc.
 Langan International LLC
 Collectively known as Langan

Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **SUBDIVISION PLAN (RECORD PLAN)**
 Project No. 240043301
 Date: 10/06/2020
 Scale: 1" = 50'
 Drawn By: JDM Checked By: JSE
 Submission Date: _____
 Drawing No. **CB-105**
 Sheet 22 of 151

PROJECT NO. 240043301 SUBMISSION DATE: SEPTEMBER 23, 2021 LANGAN



LEGEND

SITE SYMBOLS	GRADING SYMBOLS
EXISTING CURB LINE	EXISTING CONTOUR
EXISTING FENCE	PROPOSED CONTOUR
EXISTING MONUMENT	EXISTING SPOT ELEVATION
EXISTING PROPERTY LINE	PROPOSED SPOT ELEVATION
PROPOSED BUILDING LINE	SOILS SYMBOLS
PROPERTY LINE	SOILS BOUNDARY
PROPOSED LOT LINE (WITH PIN MARKER)	SOIL TYPE
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	TREELINE
BUILDING SETBACK LINE	
PROPOSED UTILITY EASEMENT	
STORMWATER BMP AREA	
CONCRETE SIDEWALK	
RETAINING WALL	
BASELINE LIMITS	
	UTILITY SYMBOLS
EXISTING STORM SEWER	EXISTING SANITARY SEWER MANHOLE
EXISTING WATER MAIN	EXISTING FIRE HYDRANT
PROPOSED STORM SEWER	EXISTING CATCH BASIN
PROPOSED SANITARY SEWER	EXISTING WATER VALVE
PROPOSED SANITARY SEWER FORCE MAIN	EXISTING MANHOLE
PROPOSED WATER MAIN	EXISTING ELECTRIC POLE
PROPOSED GAS MAIN	
PROPOSED TELEPHONE AND ELECTRIC	
PROPOSED FIRE HYDRANT	

TOWNSHIP REVIEW NOTE:
 THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, KARST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OR RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SUICTOR.

SURVEYOR CERTIFICATION:
 I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. 50-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998. THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

OWNERS CERTIFICATE:
 ON THIS, _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:

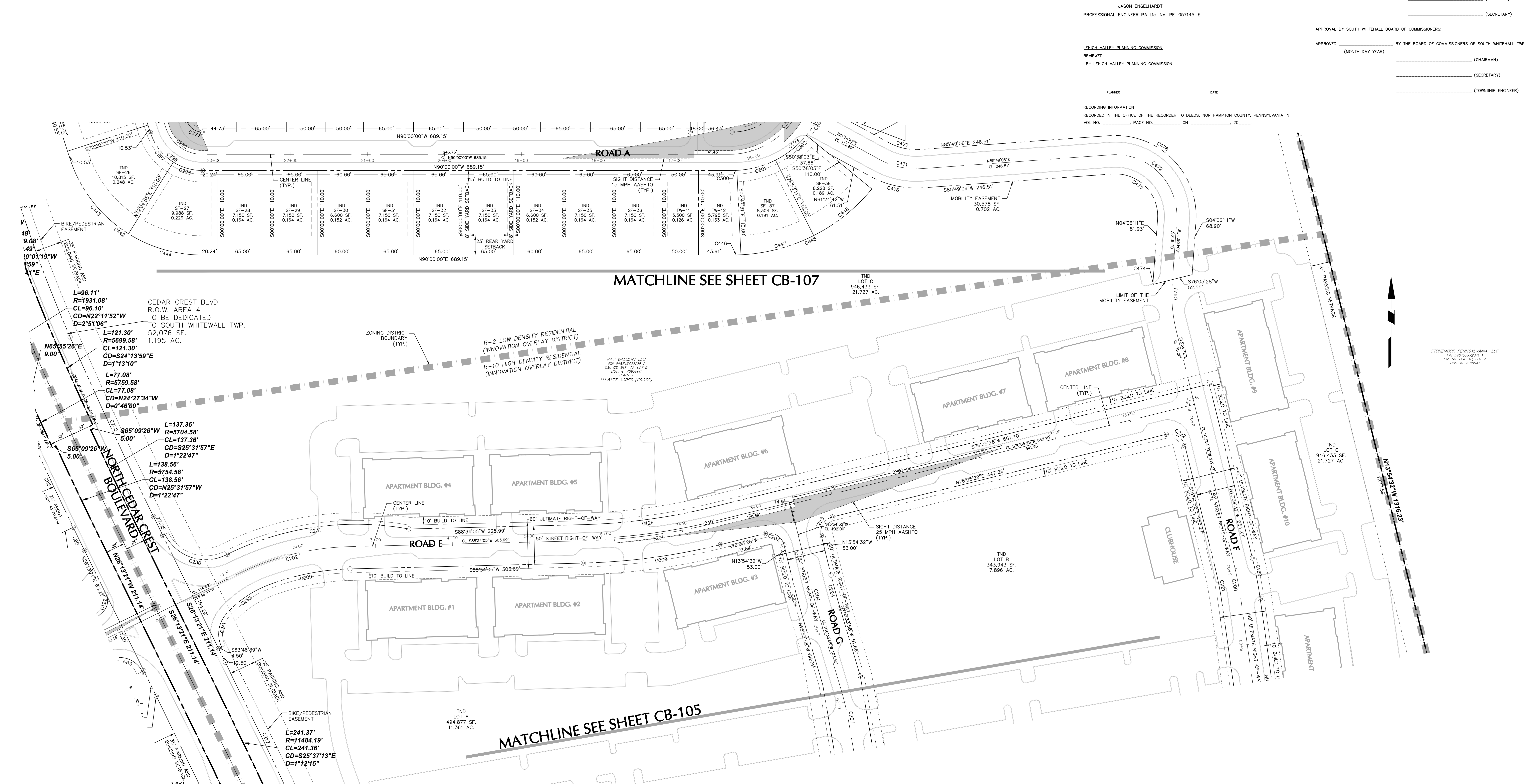
RICK KOZE
 KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OR OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

_____ MY COMMISSION EXPIRES: _____

(NOTARY PUBLIC OR OTHER OFFICER)

- NOTES:**
- SEE SHEET CB-100 FOR SUBDIVISION NOTES.
 - SEE SHEET CB-109 FOR CURVE DATA TABLES.



OWNER/APPLICANT
 KAY WALBERT LLC
 ATTN: RICK KOZE
 5930 HAMILTON BLVD., SUITE 10
 ALLENTOWN, PA 18106
 610-395-6857

Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

REVISIONS

SIGNATURE: _____ DATE SIGNED: _____
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

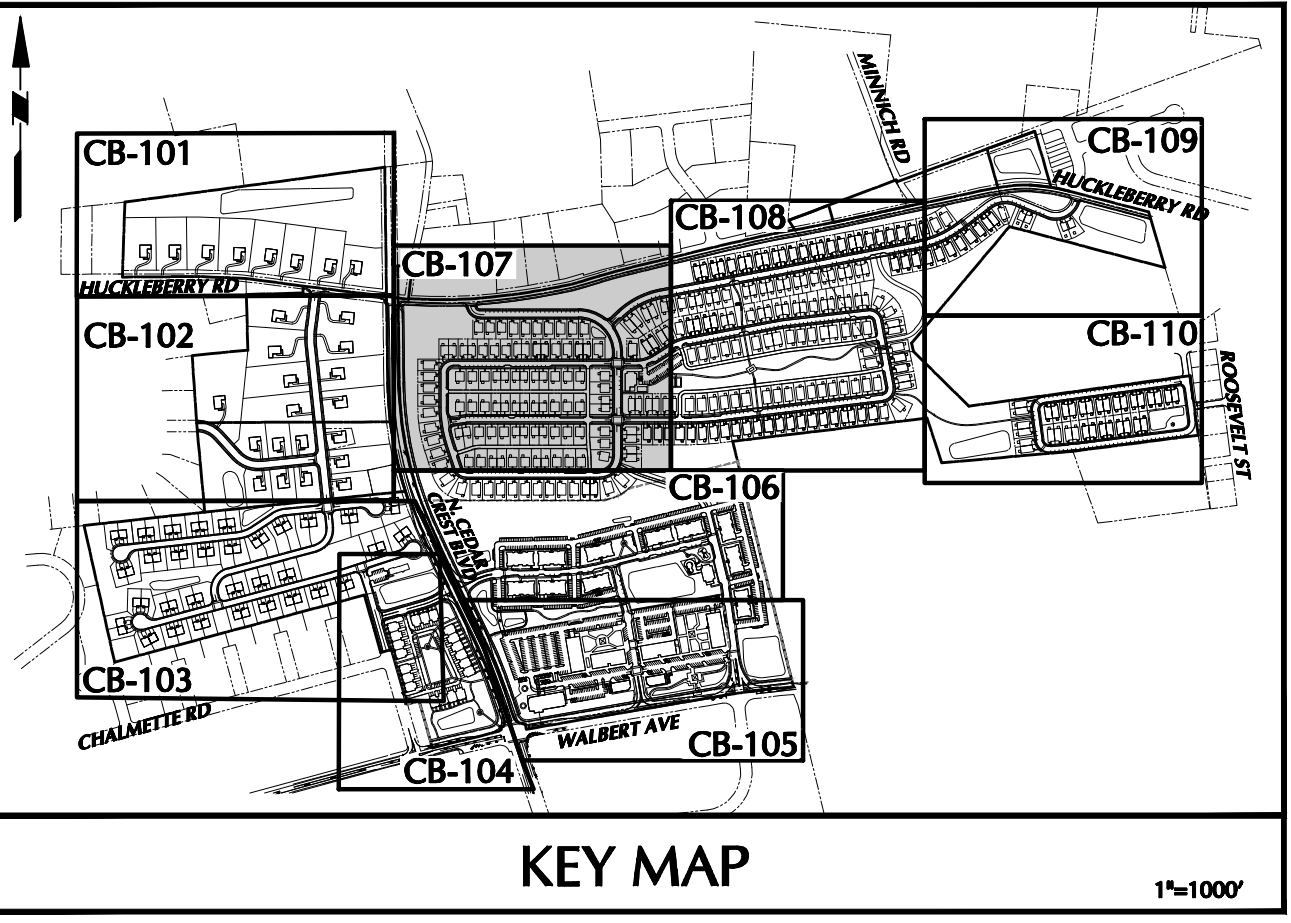


Project: **RIDGE FARMS**
 SOUTH WHITEHALL TOWNSHIP
 LEHIGH COUNTY PENNSYLVANIA

Drawing Title: **SUBDIVISION PLAN (RECORD PLAN)**

Project No.: **240043301**
 Date: **10/06/2020**
 Scale: **1" = 50'**
 Drawn By: **JDM** Checked By: **JSE**
 Submission Date: _____

Drawing No.: **CB-106**
 Sheet 23 of 151



SURVEYOR CERTIFICATION: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA BOARD OF LAND SURVEYORS ON JULY 10, 1998. THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN
PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

ENGINEER'S CERTIFICATION: I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

JASON ENGELHARDT
PROFESSIONAL ENGINEER PA LIC. NO. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION
REVIEWED:
BY LEHIGH VALLEY PLANNING COMMISSION.

PLANNER _____ DATE _____

RECORDING INFORMATION
RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. _____ PAGE NO. _____ ON _____ 20____

ON THIS _____ DAY OF _____ 20____ BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:
RICK KOZE
KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OR OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

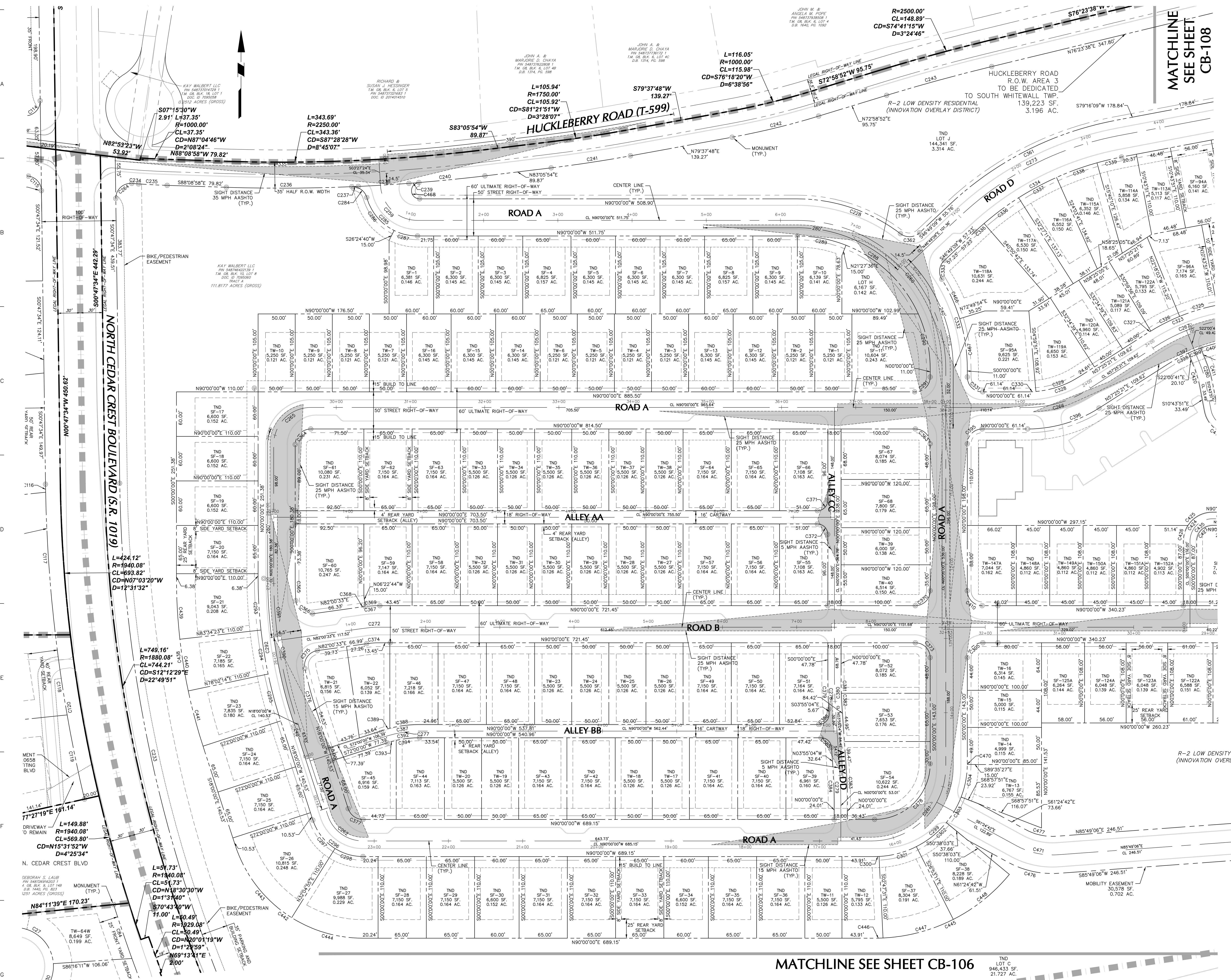
PUBLIC IMPROVEMENTS OFFER OF DEDICATION
I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAN, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION
APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS
APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

APPROVAL BY TOWNSHIP ENGINEER
APPROVED _____ (CHAIRMAN) _____ (SECRETARY)

TOWNSHIP REVIEW NOTE:
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, HARVEST GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT AND/OR LAND OWNERS AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DIRECTION, CONSISTENCY, CLARITY, AND AREA ONLY. THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC. ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP, THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.



OWNER/APPLICANT
KAY WALBERT LLC
ATTN: RICK KOZE
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857

NOTES:
1. SEE SHEET CB-100 FOR SUBDIVISION NOTES.
2. SEE SHEET CB-109 FOR CURVE DATA TABLES.

Table with 3 columns: Date, Description, No. Revisions: 09-23-21 REVISED PER TOWNSHIP COMMENTS 4, 07-15-21 REVISED PER TOWNSHIP COMMENTS 3, 05-19-21 REVISED PER TOWNSHIP COMMENTS 2, 01-21-21 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS 1.

SCALE IN FEET
0 25 50

SIGNATURE: [Signature]
PROFESSIONAL LAND SURVEYOR PA Lic. No. SU-051088-E

DATE SIGNED: _____
PROFESSIONAL ENGINEER PA Lic. No. PE-057145-E



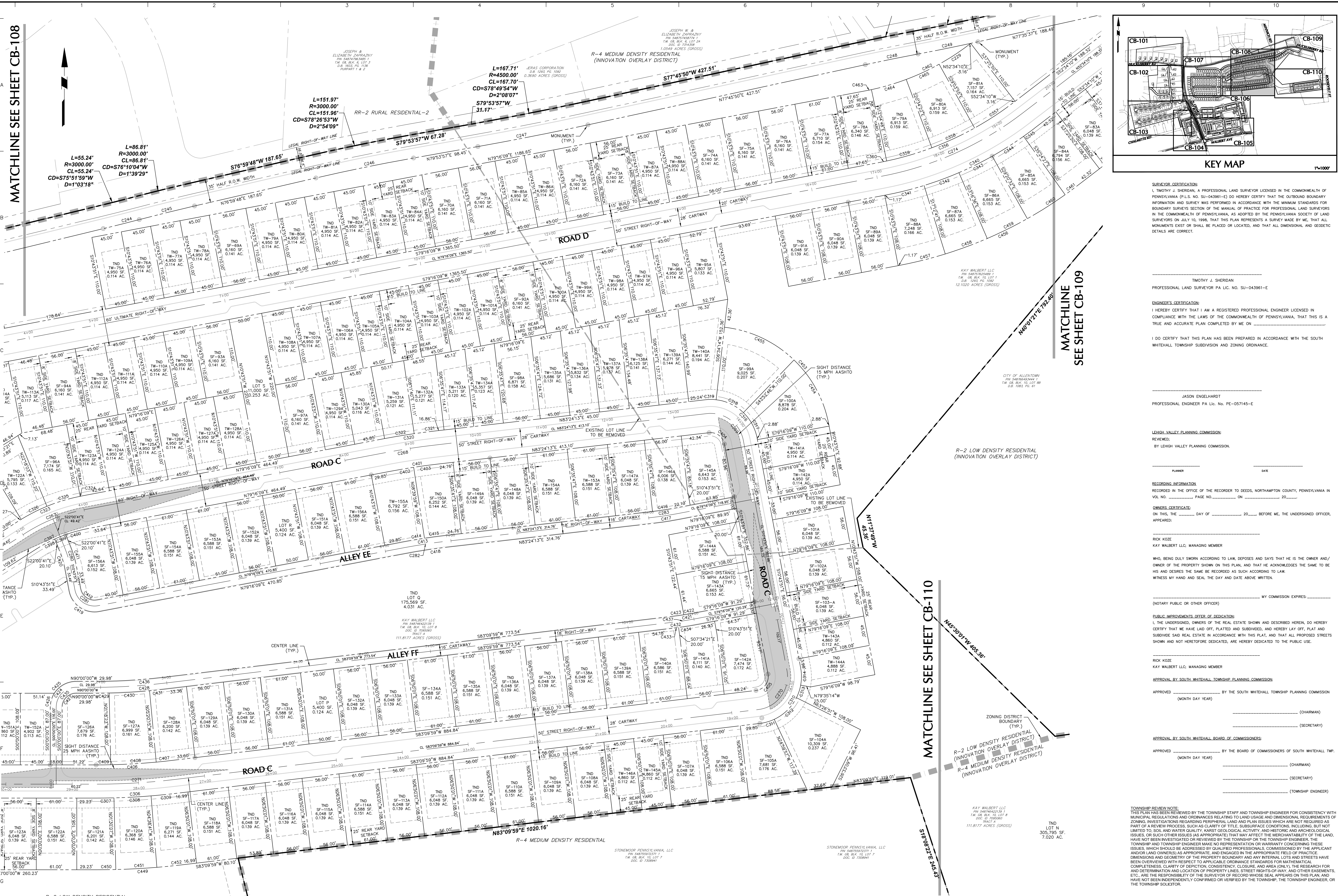
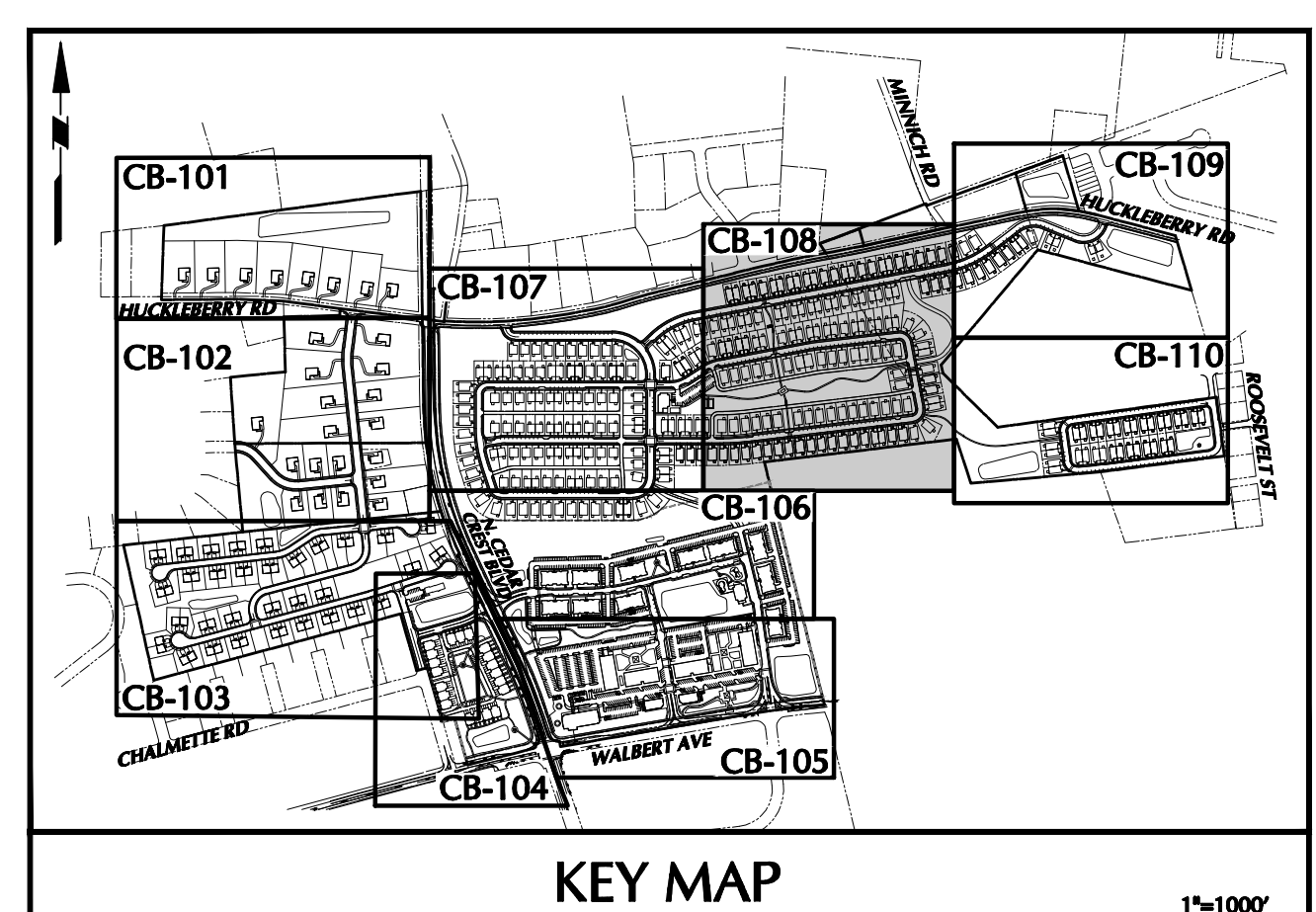
Project: RIDGE FARMS
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PENNSYLVANIA

Drawing Title: SUBDIVISION PLAN (RECORD PLAN)
Project No.: 240043301
Date: 10/06/2020
Scale: 1" = 50'
Drawn By: JDM Checked By: JSE
Submission Date: _____
Sheet 24 of 151

MATCHLINE SEE SHEET CB-108

MATCHLINE SEE SHEET CB-109

MATCHLINE SEE SHEET CB-110



NOTES: 1. SEE SHEET CB-100 FOR SUBDIVISION NOTES. 2. SEE SHEET CB-109 FOR CURVE DATA TABLES.

OWNER/APPLICANT KAY WALBERT LLC. ATTN: RICK KOZE 5930 HAMILTON BLVD., SUITE 10 ALLENTOWN, PA 18106 610-395-6857

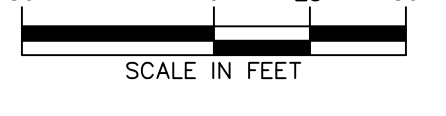


Table with 2 columns: Date, Description, No. Revisions: 09-23-21 REVISED PER TOWNSHIP COMMENTS 4, 07-15-21 REVISED PER TOWNSHIP COMMENTS 3, 05-19-21 REVISED PER TOWNSHIP COMMENTS 2, 01-21-21 REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS 1.

SIGNATURE: [Signature] DATE SIGNED: [Date] PROFESSIONAL LAND SURVEYOR PA LIC. No. SU-051088-E

LANGAN logo and contact information: One West Broad Street, Suite 200, Bethlehem, PA 18018. T: 610.864.8900 F: 610.864.8501 www.langan.com

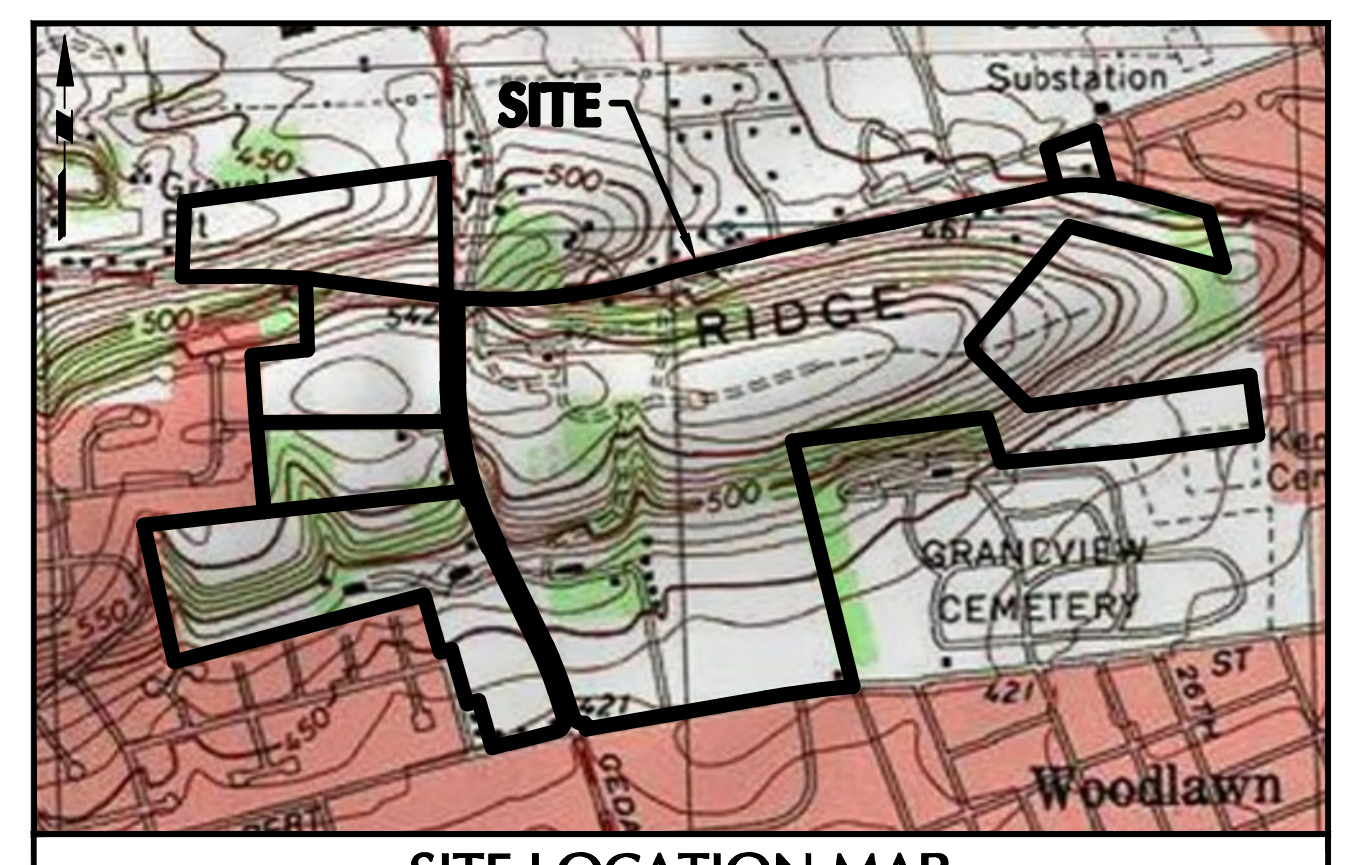
Project: RIDGE FARMS SOUTH WHITEHALL TOWNSHIP LEHIGH COUNTY PENNSYLVANIA

Drawing Title: SUBDIVISION PLAN (RECORD PLAN)

Project No. 240043301 Drawing No. CB-108 Date 10/06/2020 Scale 1" = 50' Drawn By JDM Checked By JSE Submission Date Sheet 25 of 151

SURVEYOR CERTIFICATION: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA... ENGINEER'S CERTIFICATION: I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA... I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

PROJECT NO. 240043301 SUBMISSION DATE: SEPTEMBER 23, 2021



SURVEYOR CERTIFICATION: I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA... HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS...

ENGINEER'S CERTIFICATION: I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON...

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTHWEST WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

TIMOTHY J. SHERIDAN, PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-04361-E
JASON ENGELHARDT, PROFESSIONAL ENGINEER PA LIC. NO. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION REVIEWED BY LEHIGH VALLEY PLANNING COMMISSION.

RECORDING INFORMATION: RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. PAGE NO. ON 20.

OWNER'S CERTIFICATE: ON THIS, THE... DAY OF..., 20... BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:

RICK KOZE, KAY WALBERT LLC, MANAGING MEMBER
WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/ OR OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE KNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.

APPROVED BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR) BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION.

APPROVED BY SOUTH WHITEHALL BOARD OF COMMISSIONERS (MONTH DAY YEAR) BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP.

APPROVED BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR) BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION.

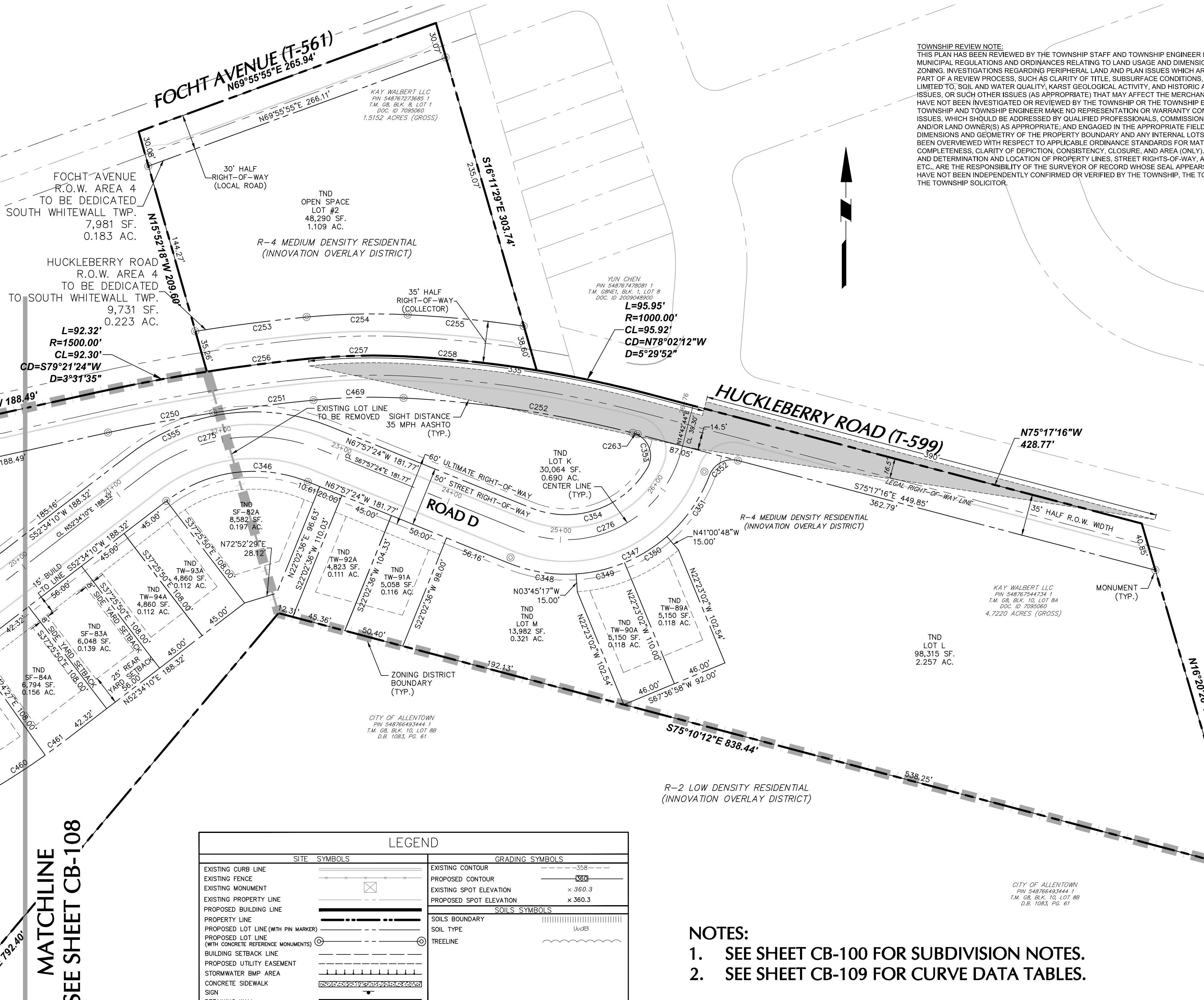
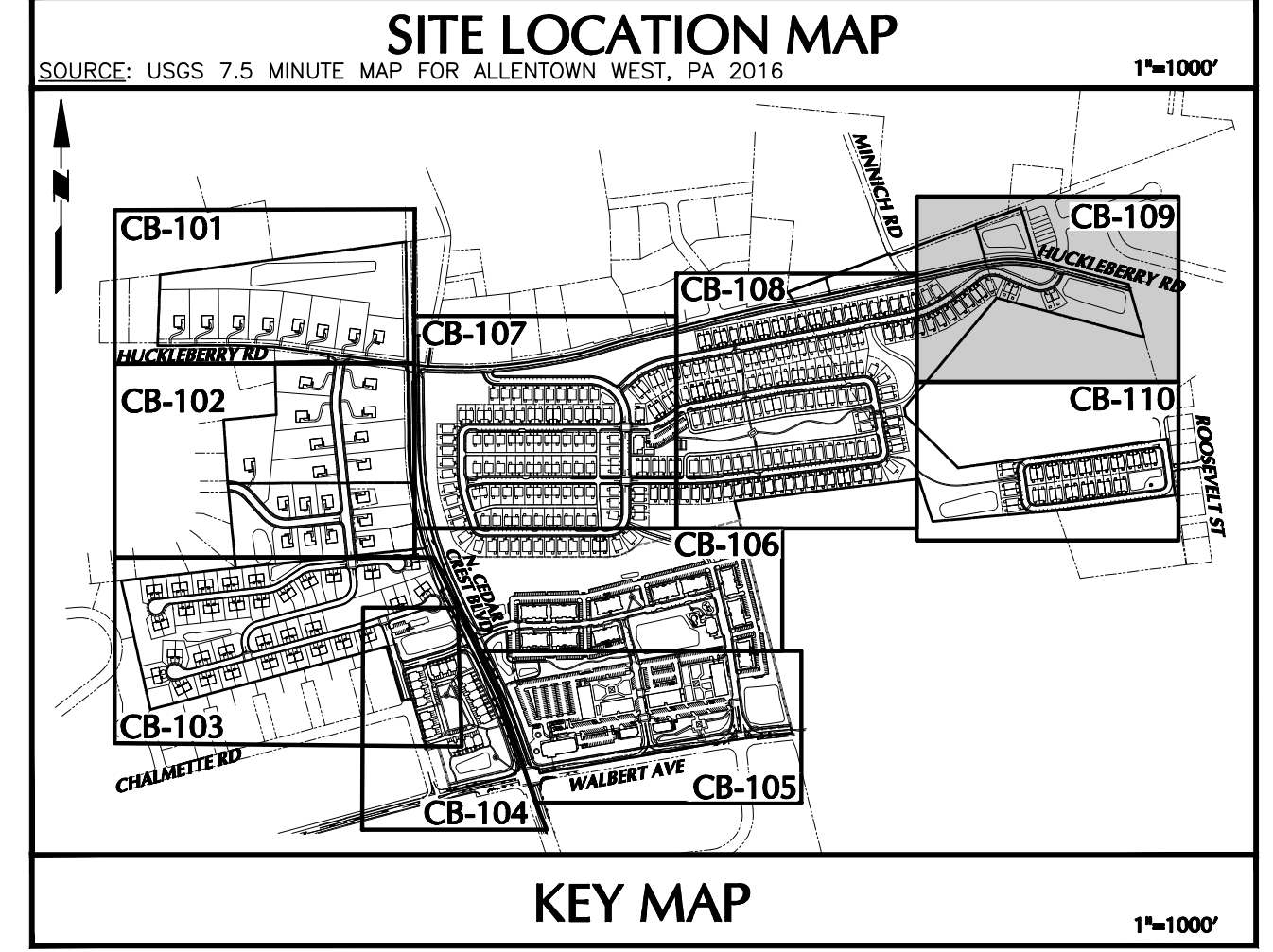
APPROVED BY SOUTH WHITEHALL BOARD OF COMMISSIONERS (MONTH DAY YEAR) BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP.

APPROVED BY SOUTH WHITEHALL BOARD OF COMMISSIONERS (MONTH DAY YEAR) BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP.

APPROVED BY SOUTH WHITEHALL BOARD OF COMMISSIONERS (MONTH DAY YEAR) BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP.

RECORDING INFORMATION: RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. PAGE NO. ON 20.

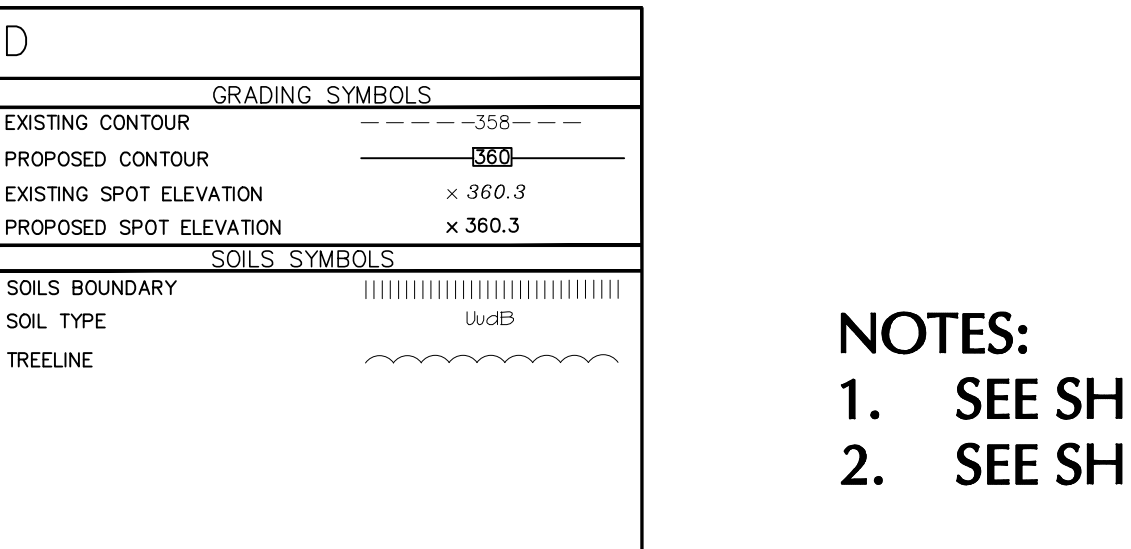
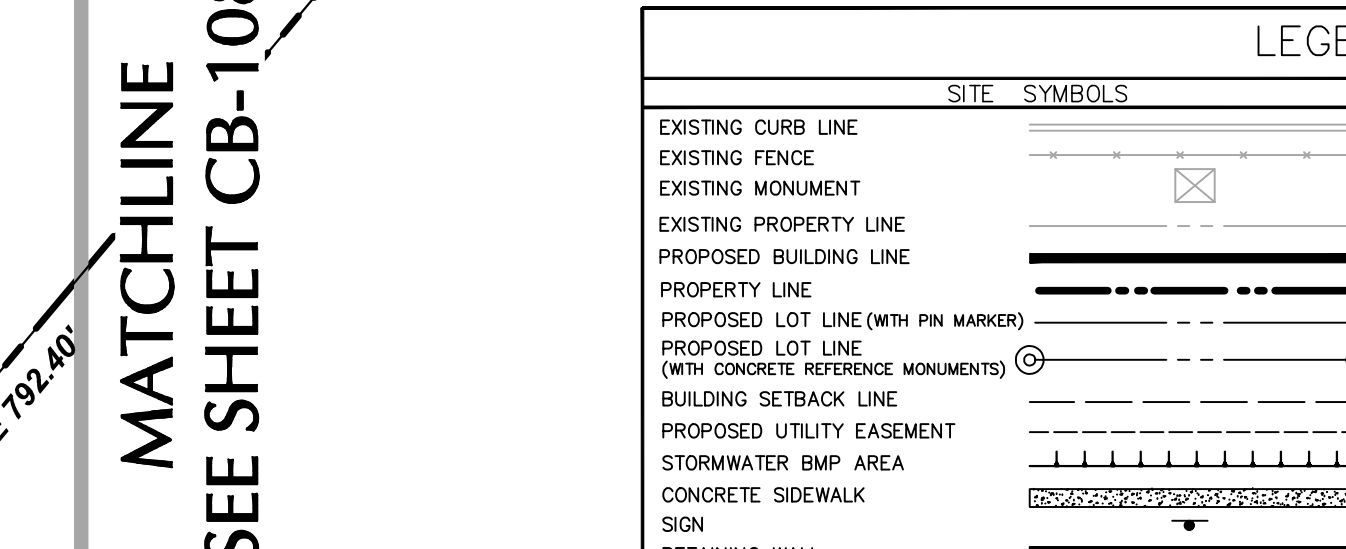
TOWNSHIP REVIEW NOTE: THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES...



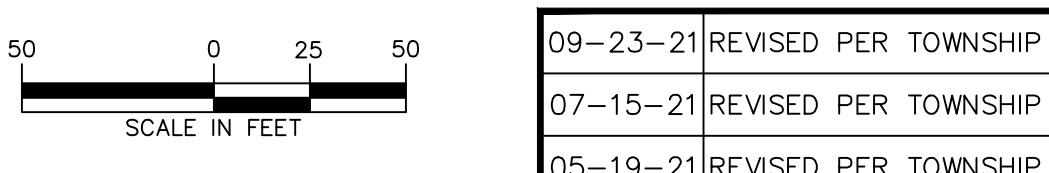
CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Contains 45 curves with detailed data.

CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Contains 45 curves with detailed data.

CURVE TABLE with columns: CURVE, RADIUS, ARC LENGTH, DELTA, CHORD BEARING, CHORD LENGTH. Contains 45 curves with detailed data.



- NOTES: 1. SEE SHEET CB-100 FOR SUBDIVISION NOTES. 2. SEE SHEET CB-109 FOR CURVE DATA TABLES.



OWNER/APPLICANT KAY WALBERT LLC, ATTN: RICK KOZE, 5930 HAMILTON BLVD., SUITE 10, ALLENTOWN, PA 18106, 610-395-6857

SIGNATURE: RICK KOZE, DATE SIGNED: 10/06/2020, PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

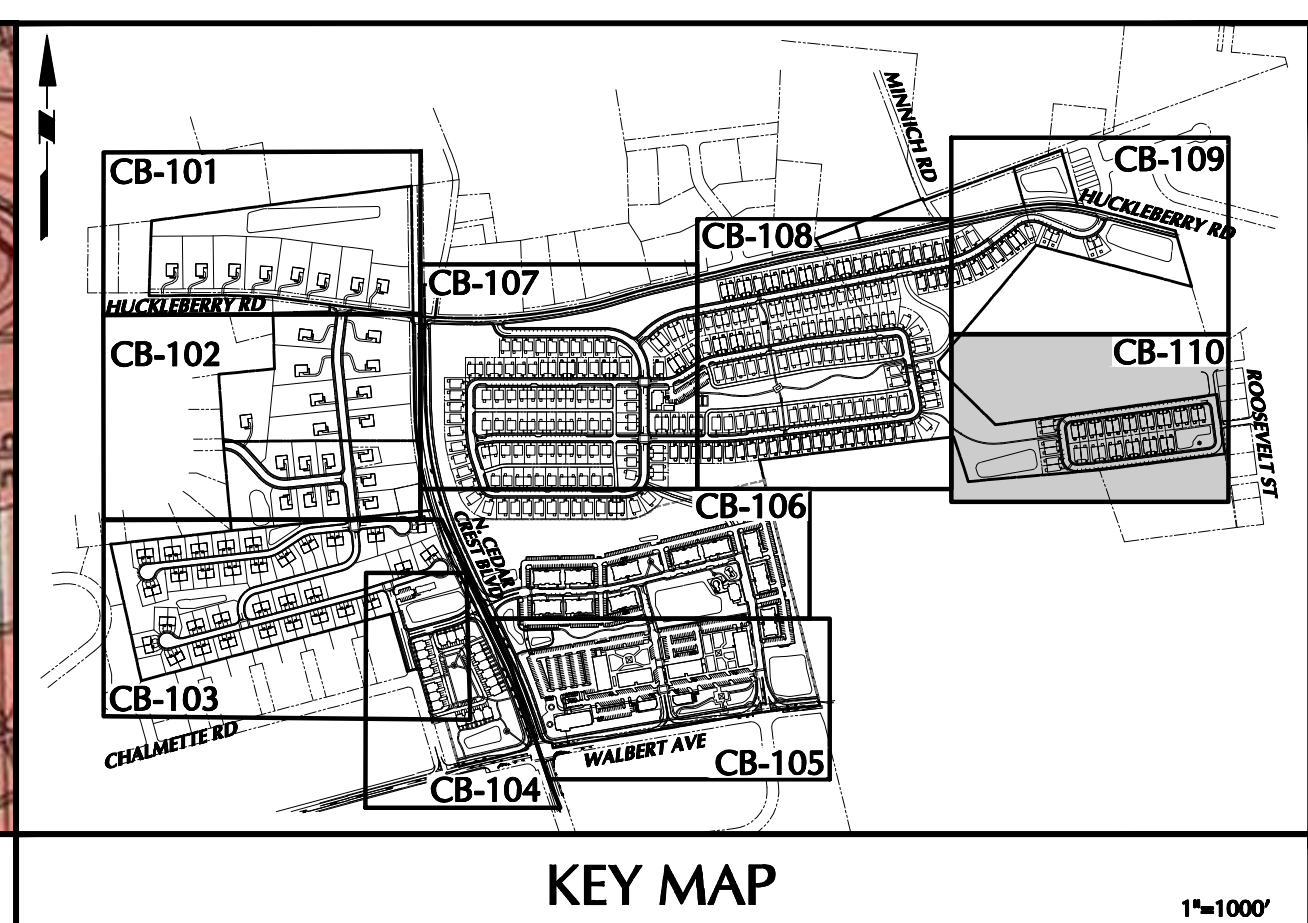
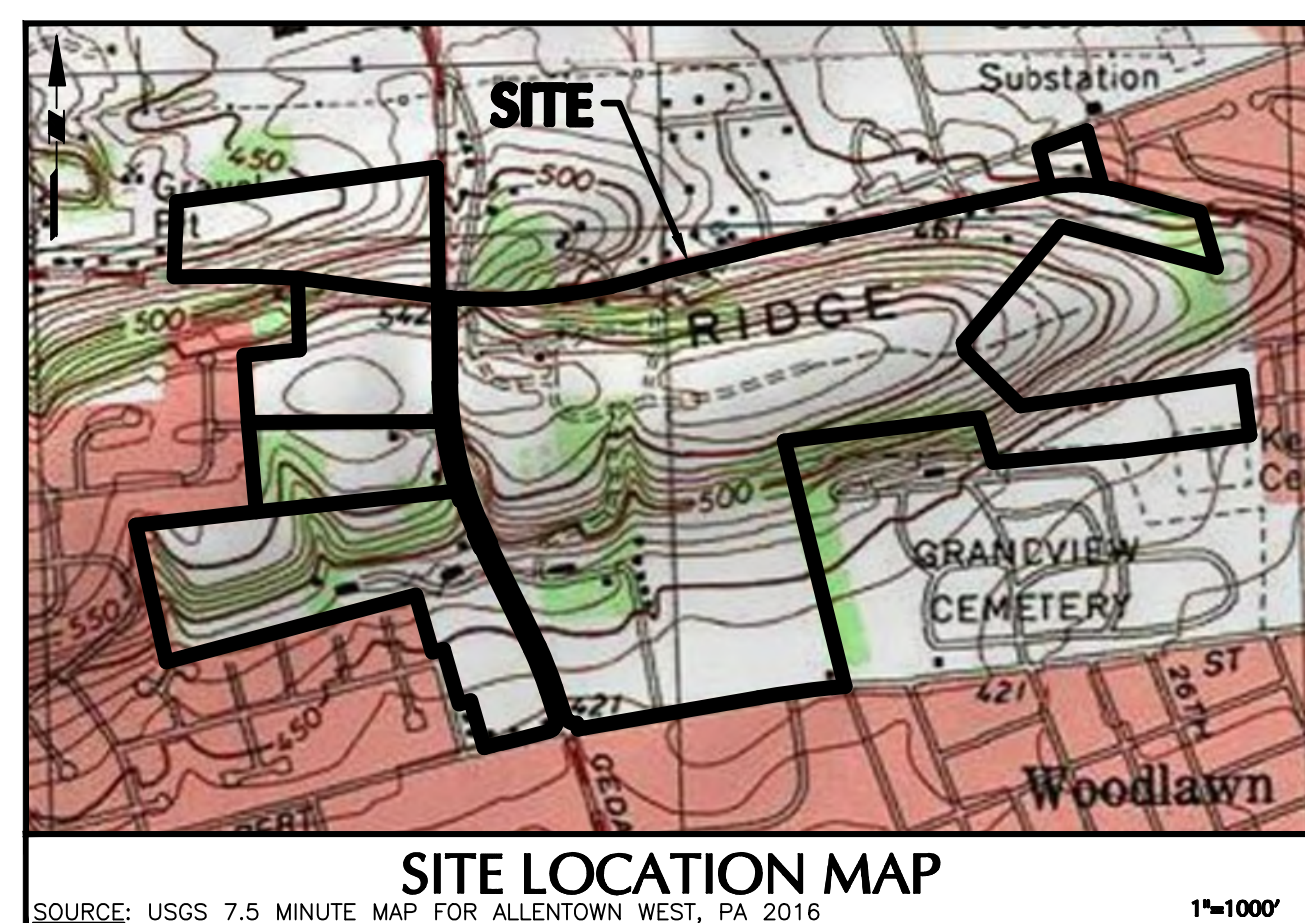
REVISIONS table with columns: Date, Description, No. Includes revisions 09-23-21, 07-15-21, 05-19-21, 01-21-21.

LANGAN logo and contact information: One West Broad Street, Suite 200, Bethlehem, PA 18018, T 610-864-2800, F 610-864-5501, www.langan.com

Project: SOUTH WHITEHALL TOWNSHIP, RIDGE FARMS SUBDIVISION PLAN (RECORD PLAN), Drawing Title: CB-109

Project No. 240043301, Date 10/06/2020, Scale 1"=50', Drawing No. CB-109, Sheet 26 of 151

PROJ. NO. 240043301, SUBMISSION DATE: SEPTEMBER 23, 2021



LEGEND

SITE SYMBOLS		GRADING SYMBOLS	
EXISTING CURB LINE	---	EXISTING CONTOUR	---58---
EXISTING FENCE	---X---	PROPOSED CONTOUR	---58---
EXISTING MONUMENT	○	EXISTING SPOT ELEVATION	360.3
EXISTING PROPERTY LINE	---	PROPOSED SPOT ELEVATION	x 360.3
PROPOSED BUILDING LINE	---	SOILS SYMBOLS	
PROPERTY LINE	---	SOILS BOUNDARY	---
PROPOSED LOT LINE (WITH PIN MARKER)	---	SOIL TYPE	UHS
PROPOSED LOT LINE (WITH CONCRETE REFERENCE MONUMENTS)	---	TREELINE	---
BUILDING SETBACK LINE	---	UTILITY SYMBOLS	
PROPOSED UTILITY EASEMENT	---	EXISTING SANITARY SEWER MANHOLE	○
STORMWATER BMP AREA	---	EXISTING FIRE HYDRANT	○
CONCRETE SIDEWALK SIGN	---	EXISTING CATCH BASIN	○
RETAINING WALL	---	EXISTING WATER VALVE	○
BASIN LIMITS	---	EXISTING MANHOLE	○
EXISTING STORM SEWER	---	EXISTING ELECTRIC POLE	○
EXISTING WATER MAIN	---		
PROPOSED STORM SEWER	---		
PROPOSED SANITARY SEWER	---		
PROPOSED SANITARY SEWER FORCE MAIN	---		
PROPOSED WATER MAIN	---		
PROPOSED GAS MAIN	---		
PROPOSED TELEPHONE AND ELECTRIC	---		
PROPOSED FIRE HYDRANT	---		

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C500	50.00'	78.54'	90°00'00"	N37°10'11"E	70.71'
C501	50.00'	76.11'	87°12'39"	N51°26'09"W	68.97'
C502	50.00'	78.84'	90°20'51"	S37°30'16"W	70.92'
C503	24.00'	37.77'	90°09'40"	N52°44'59"W	33.99'
C504	34.00'	53.41'	90°00'00"	S37°10'11"W	48.08'
C505	34.00'	52.00'	87°37'22"	S51°38'25"E	47.08'
C506	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'
C507	984.00'	24.52'	1°25'39"	N84°14'42"E	24.51'
C508	984.00'	14.65'	0°51'11"	N83°06'17"E	14.65'
C509	34.00'	53.61'	90°20'51"	N37°30'16"E	48.23'
C510	74.00'	116.24'	90°00'00"	S37°10'11"W	104.65'
C511	74.00'	85.69'	86°20'42"	S48°59'50"W	80.98'
C512	74.00'	30.55'	23°39'18"	S03°59'50"W	30.34'
C513	74.00'	112.64'	87°12'39"	S51°26'09"E	102.07'
C514	74.00'	20.53'	15°53'44"	S15°46'41"E	20.46'
C515	74.00'	92.11'	71°18'55"	S59°23'01"E	86.28'
C516	1024.00'	40.76'	2°16'50"	N83°49'06"E	40.76'
C517	74.00'	116.69'	90°20'51"	N37°30'16"E	104.97'

SURVEYOR CERTIFICATION:
I, TIMOTHY J. SHERIDAN, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA (P.L.S. NO. SU-043961-E) DO HEREBY CERTIFY THAT THE OUTBOUND BOUNDARY INFORMATION AND SURVEY WAS PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS SECTION OF THE MANUAL OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN THE COMMONWEALTH OF PENNSYLVANIA, AS ADOPTED BY THE PENNSYLVANIA SOCIETY OF LAND SURVEYORS ON JULY 10, 1998, THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME, THAT ALL MONUMENTS EXIST OR SHALL BE PLACED OR LOCATED, AND THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

TIMOTHY J. SHERIDAN
PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-043961-E

ENGINEER'S CERTIFICATION:
I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, THAT THIS IS A TRUE AND ACCURATE PLAN COMPLETED BY ME ON _____.

I DO CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE SOUTH WHITEHALL TOWNSHIP SUBDIVISION AND ZONING ORDINANCE.

OWNERS CERTIFICATE:
ON THIS, _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, APPEARED:

RICK KOZE
KAY WALBERT LLC, MANAGING MEMBER

WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER AND/OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS AND DESIRES THE SAME BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND SEAL THE DAY AND DATE ABOVE WRITTEN.

(NOTARY PUBLIC OR OTHER OFFICER)

PUBLIC IMPROVEMENTS OFFER OF DEDICATION:
I, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAY OFF, PLATED AND SUBDIVIDED, AND HEREBY LAY OFF, PLAT AND SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAN, AND THAT ALL PROPOSED STREETS SHOWN AND NOT HERETOFORE DEDICATED, ARE HEREBY DEDICATED TO THE PUBLIC USE.

RICK KOZE
KAY WALBERT LLC, MANAGING MEMBER

APPROVAL BY SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION:
APPROVED _____ BY THE SOUTH WHITEHALL TOWNSHIP PLANNING COMMISSION (MONTH DAY YEAR)

(CHAIRMAN)

(SECRETARY)

APPROVAL BY SOUTH WHITEHALL BOARD OF COMMISSIONERS:
APPROVED _____ BY THE BOARD OF COMMISSIONERS OF SOUTH WHITEHALL TWP. (MONTH DAY YEAR)

(CHAIRMAN)

(SECRETARY)

(TOWNSHIP ENGINEER)

TOWNSHIP REVIEW NOTE:
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USE AND DIMENSIONAL REQUIREMENTS OF ZONING, INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS, SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS, INCLUDING, BUT NOT LIMITED TO, SOIL AND WATER QUALITY, NOISE, GEOLOGICAL ACTIVITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP OR THE TOWNSHIP ENGINEER. THE TOWNSHIP AND TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE APPLICANT (AND/OR LAND OWNERS) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE. DIMENSIONS AND GEOMETRY OF THE PROPERTY BOUNDARY AND ANY INTERNAL LOTS AND STREETS HAVE BEEN OVERVIEWED WITH RESPECT TO APPLICABLE ORDINANCE STANDARDS FOR MATHEMATICAL COMPLETENESS, CLARITY OF DEPICTION, CONSISTENCY, CLOSURE, AND AREA (ONLY). THE RESEARCH FOR AND DETERMINATION AND LOCATION OF PROPERTY LINES, STREET RIGHTS-OF-WAY, AND OTHER EASEMENTS, ETC., ARE THE RESPONSIBILITY OF THE SURVEYOR OF RECORD WHOSE SEAL APPEARS ON THIS PLAN, AND HAVE NOT BEEN INDEPENDENTLY CONFIRMED OR VERIFIED BY THE TOWNSHIP ENGINEER, OR THE TOWNSHIP SOLICITOR.

JASON ENGELHARDT
PROFESSIONAL ENGINEER PA LIC. NO. PE-057145-E

LEHIGH VALLEY PLANNING COMMISSION:
REVIEWED:
BY LEHIGH VALLEY PLANNING COMMISSION.

PLANNER _____ DATE _____

RECORDING INFORMATION:
RECORDED IN THE OFFICE OF THE RECORDER TO DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA IN VOL. NO. _____ PAGE NO. _____ ON _____, 20____.

LEROY H. MARTIN
PA 5487618703 1
141 GONES BLVD., 2ND FLOOR
DOC. ID: 2013030017

ROBERT W. KRASELY
PA 5487617030 1
141 GONES BLVD., 2ND FLOOR
D.B. 1468, PG. 1060

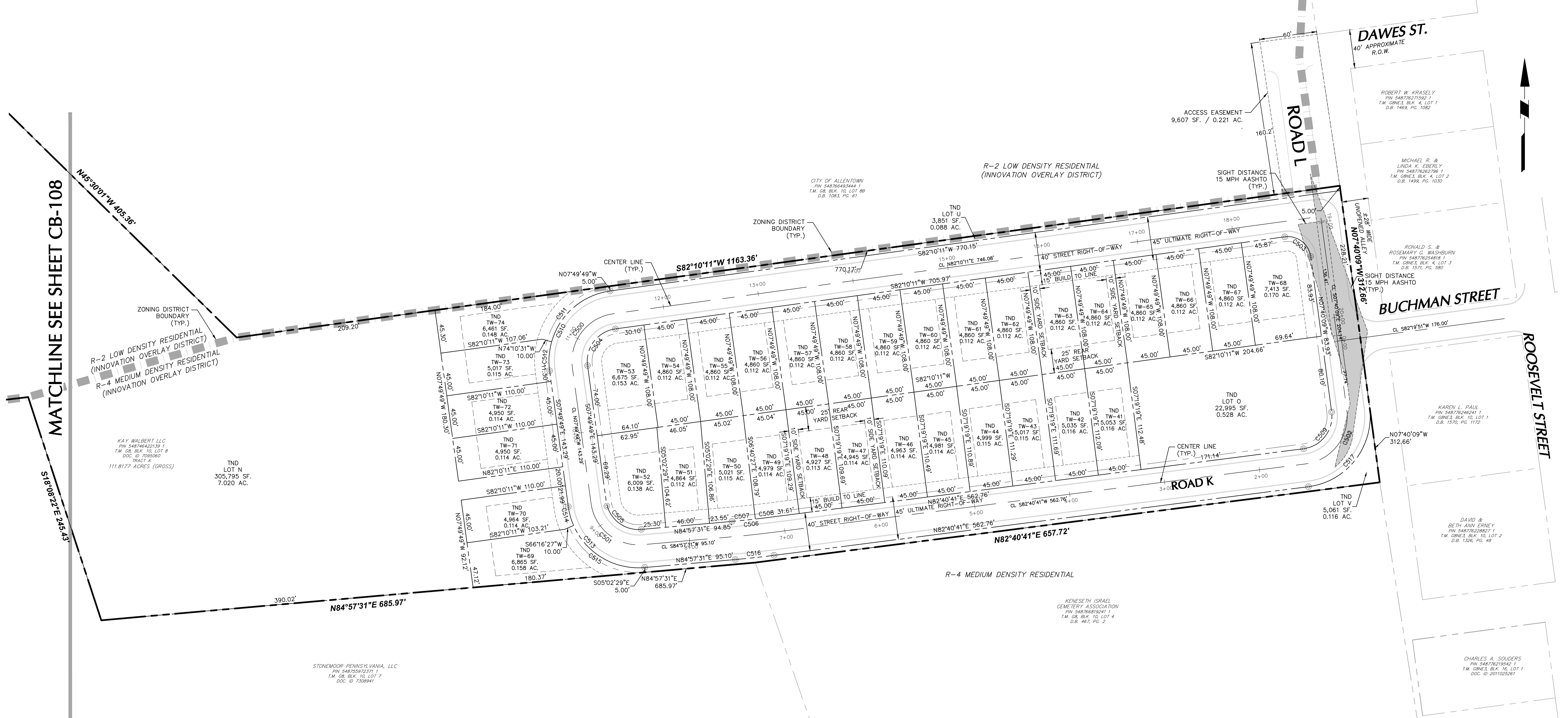
MICHAEL R. & ROSEMARY G. BISHBURN
PA 5487616276 1
141 GONES BLVD., 2ND FLOOR
D.B. 1468, PG. 1030

ROBERT S. & ROSEMARY G. BISHBURN
PA 5487616276 1
141 GONES BLVD., 2ND FLOOR
D.B. 1468, PG. 1030

KAREN L. PAUL
PA 5487616276 1
141 GONES BLVD., 2ND FLOOR
D.B. 1570, PG. 1172

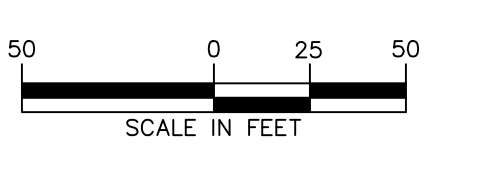
DAVID & BETH ANN ERNEY
PA 5487616276 1
141 GONES BLVD., 2ND FLOOR
D.B. 1528, PG. 48

CHARLES A. SQUERPS
PA 5487616276 1
141 GONES BLVD., 2ND FLOOR
DOC. ID: 201102261



OWNER/APPLICANT
KAY WALBERT LLC
ATTN: RICK KOZE
5930 HAMILTON BLVD., SUITE 10
ALLENTOWN, PA 18106
610-395-6857

NOTES:
1. SEE SHEET CB-100 FOR SUBDIVISION NOTES.
2. SEE SHEET CB-110 FOR CURVE DATA TABLE.



Date	Description	No.
09-23-21	REVISED PER TOWNSHIP COMMENTS	4.
07-15-21	REVISED PER TOWNSHIP COMMENTS	3.
05-19-21	REVISED PER TOWNSHIP COMMENTS	2.
01-21-21	REVISED PER TOWNSHIP COMMENTS & WAIVER APPROVALS	1.

SIGNATURE _____ DATE SIGNED _____
PROFESSIONAL LAND SURVEYOR PA LIC. NO. SU-051088-E

LANGAN
One West Broad Street, Suite 200, Bethlehem, PA 18018
T: 610.864.8900 F: 610.864.8501 www.langan.com
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C. S.A.
Langan Engineering, Environmental, Surveying and Landscape Architecture, D.P.C.
Langan Engineering and Environmental Services, Inc.
Langan GI, Inc.
Langan International LLC
Collectively known as Langan

Project: RIDGE FARMS
SOUTH WHITEHALL TOWNSHIP
LEHIGH COUNTY PENNSYLVANIA

Drawing Title: SUBDIVISION PLAN (RECORD PLAN)

Project No. 240043301
Date 10/06/2020
Scale 1" = 50'
Drawn By JDM Checked By JSE
Submission Date _____
Drawing No. CB-110
Sheet 27 of 151

PROJECT NO. 240043301 SUBMISSION DATE: SEPTEMBER 23, 2021 LANGAN